



Town of Surfside
Special Town Commission - Quasi-Judicial Hearing
AGENDA
Tuesday, April 12, 2022
6:00 PM
Commission Chambers - 9293 Harding Avenue
Surfside, FL 33154

Rule 7.05 Decorum. Any person making impertinent or slanderous remarks or who becomes boisterous while addressing the commission shall be barred from further appearance before the commission by the presiding officer, unless permission to continue or again address the commission is granted by the majority vote of the commission members present. No clapping, applauding, heckling or verbal outbursts in support or opposition to a speaker or his or her remarks shall be permitted. Signs or placards may be disallowed in the commission chamber by the presiding officer. Persons exiting the commission chambers shall do so quietly.

Rule 6.05 Agenda. The good and welfare portion of the agenda set for 8:15 p.m. shall be restricted to discussion on subjects not already specifically scheduled on the agenda for discussion and debate. In no event shall this portion of the agenda be allotted more than 45 minutes with each speaker to be given no more than three minutes, unless by vote of a majority of the members of the commission present, it is agreed to extend the time frames. Likewise, commission members shall be restricted to speaking three minutes each unless an extension is granted in the same manner as set forth in the prior sentence.

Any person who received compensation, remuneration or expenses for conducting lobbying activities is required to register as a lobbyist with the Town Clerk prior to engaging in lobbying activities per Town Code Sec. 2-235. "Lobbyist" specifically includes the principal, as defined in this section, as well as any agent, officer or employee of a principal, regardless of whether such lobbying activities fall within the normal scope of employment of such agent, officer or employee. The term "lobbyist" specifically excludes any person who only appears as a representative of a not-for-profit community-based organization for the purpose of requesting a grant without special compensation or reimbursement for the appearance; and any person who only appears as a representative of a neighborhood, homeowners or condominium association without compensation for the appearance, whether direct or indirect or contingent, to express support of or opposition to any item.

Per Miami Dade County Fire Marshal, the Commission Chambers has a maximum capacity of 99 people. Once this capacity has been reached, people will be asked to watch the meeting from the first floor.

**** Denotes agenda items as "must haves" which means there will be significant impacts if the item is not addressed tonight. If these items have not been heard by 10 p.m., the order of the agenda will be changed to allow them to be heard.***

1. Opening

1.A Call to Order

1.B Roll Call of Members

2. Mayor, Commission and Staff Communications

2.A 9165 Collins Avenue – Hillcrest by the Sea – 9165 Surfside LLC Site Plan Approval - Andrew Hyatt, Town Manager

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, [APPROVING/DENYING] AN APPEAL OF THE APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES; [APPROVING/DENYING] A SITE PLAN APPLICATION TO PERMIT THE DEVELOPMENT OF PROPERTY LOCATED AT 9165 COLLINS AVENUE, SURFSIDE, FLORIDA, FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 14 DWELLING UNITS AND 32 PARKING SPACES SUBJECT TO CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

Staff evaluated the development proposal relative to the requirements of Section 90-20(2)(a) of the Zoning Code and found the proposal conforms to the Comprehensive Plan and the Zoning Code. The project has minimal impacts on the environment and natural resources. Impacts to public facilities and transportation will be reduced with improved access to Collins Avenue and on-site service deliveries. Redevelopment of the parcel will have a favorable impact on the economy of the Town and the building design is consistent with the community character of the beach side neighborhood.

[Staff Report for TC_4-12-22.docx](#)

[Resolution Approving/Denying Site Plan - 9165 Collins Avenue.pdf](#)

[9165 Collins Avenue Site Plan.pdf](#)

3. Adjournment

Respectfully submitted,

Andrew Hayatt
Town Manager

THIS MEETING IS OPEN TO THE PUBLIC. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, ALL PERSONS THAT ARE DISABLED; WHO NEED SPECIAL ACCOMMODATIONS TO PARTICIPATE IN THIS MEETING BECAUSE OF THAT DISABILITY SHOULD CONTACT THE OFFICE OF THE TOWN CLERK AT 305-861-4863 EXT. 226 NO LATER THAN FOUR DAYS PRIOR TO SUCH PROCEEDING.

IN ACCORDANCE WITH THE PROVISIONS OF SECTION 286.0105, FLORIDA STATUTES, ANYONE WISHING TO APPEAL ANY DECISION MADE BY THE TOWN OF SURFSIDE COMMISSION, WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING OR HEARING, WILL NEED A RECORD OF THE PROCEEDINGS AND FOR SUCH PURPOSE, MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE WHICH RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

AGENDA ITEMS MAY BE VIEWED AT THE OFFICE OF THE TOWN CLERK, TOWN OF SURFSIDE TOWN HALL, 9293 HARDING AVENUE. ANYONE WISHING TO OBTAIN A COPY OF ANY AGENDA ITEM SHOULD CONTACT THE TOWN CLERK AT 305-861-4863. A COMPLETE AGENDA PACKET IS ALSO AVAILABLE ON THE TOWN WEBSITE AT www.townofsurfsidefl.gov.

TWO OR MORE MEMBERS OF OTHER TOWN BOARDS MAY ATTEND THIS MEETING.

THESE MEETINGS MAY BE CONDUCTED BY MEANS OF OR IN CONJUNCTION WITH COMMUNICATIONS MEDIA TECHNOLOGY, SPECIFICALLY, A TELEPHONE CONFERENCE CALL. THE LOCATION 9293 HARDING AVENUE, SURFSIDE, FL 33154, WHICH IS OPEN TO THE PUBLIC, SHALL SERVE AS AN ACCESS POINT FOR SUCH COMMUNICATION.



MEMORANDUM

ITEM NO. 2.A

To: Honorable Mayor, Vice-Mayor and Members of the Town Commission

From: Andrew Hyatt, Town Manager

Date: April 12, 2022

Subject: **9165 Collins Avenue – Hillcrest by the Sea – 9165 Surfside LLC Site Plan Approval**

This application is a request for Site Plan Approval for a proposed development for the property commonly known as the Hillcrest by the Sea Co-op Apartments. The existing two 2-story buildings with 24 units will be demolished. The developable portion of the site is located from the Collins Avenue east right of way line to the Town of Surfside Bulkhead Line and totals 0.54 acres. The area east of the Bulkhead line to the Erosion Control Line (ECL) is a private recreation area totaling 0.33 acres. A 11 story structure with 14 apartments units and 32 parking spaces in an underground garage is proposed.

The project site is located on the north side of the Seaway Villas and on the south side of the Carlisle on the Ocean. The project frontage on Collins Avenue is 100 feet. The use of the new setback option (Ordinance 21-1716) allows the building design to provide large balconies on the east, south and west while minimizing the balconies on the north. The resulting building envelope under this option produces a building with less volume than that derived from the Inclined Side Setback option where a 10 foot side setback increases 1 foot for each 3 feet of height above 30 feet.

Staff Findings: Staff evaluated the development proposal relative to the requirements of Section 90-20(2)(a) of the Zoning Code and found the proposal conforms to the Comprehensive Plan and the Zoning Code. The project has minimal impacts on the environment and natural resources. Impacts to public facilities and transportation will be reduced with improved access to Collins Avenue and on-site service deliveries. Redevelopment of the parcel will have a favorable impact on the economy of the Town and the building design is consistent with the community character of the beach side neighborhood.

Design Review Group (DRG): The DRG met on Tuesday, January 14, 2022 via Zoom to discuss and review the proposed Site Plan request. The DRG was satisfied the proposed Site Plan reduced the impacts to public services and did not negatively impact the Town.

Planning & Zoning Board: The Planning and Zoning Board considered this application at meetings of January 27 and February 24, 2022. At the February meeting, the Planning and

Zoning Board recommended to the Town Commission, the application be approved with staff conditions and with an additional condition the balcony architectural features should not extend beyond the maximum allowed balcony encroachment.

Budget Impact: The Applicant has proffered \$180,000 to address the impacts of development.

Growth Impact: The property has a maximum density permitted of 58 dwelling units. The proposed site plan provides for 14 dwelling units. The building layout on floors 3 through 7 provide for 2 dwelling units and the Applicant has indicated the dwelling units on these floors could be combined to further reduce the total number of dwelling units. The proposed Site Plan proposes a density reduction of 44 to 49 dwelling units.

Staff Impact: There has been no impact to staff other than the work necessary to review the project. The Applicant has funded the review through the cost recovery process and the building permit review will be funded through the building permit fees.

[Staff Report for TC_4-12-22.docx](#)

[Resolution Approving/Denying Site Plan - 9165 Collins Avenue.pdf](#)

[9165 Collins Avenue Site Plan.pdf](#)

Reviewed by: Prepared by:

SITE PLAN REPORT

This application is a request for Site Plan Approval for a proposed development for the property commonly known as the Hillcrest by the Sea Co-op Apartments. The existing two 2-story buildings with 24 units will be demolished. The developable portion of the site is located from the Collins Avenue east right of way line to the Town of Surfside Bulkhead Line and totals 0.54 acres. The area east of the Bulkhead line to the Erosion Control Line (ECL) is a private recreation area totaling 0.33 acres. A 11 story structure with 14 apartments units and 32 parking spaces in an underground garage is proposed.

The project site is located on the north side of the Seaway Villas and on the south side of the Carlisle on the Ocean. The project frontage on Collins Avenue is 100 feet. The project is proposing to utilize Ordinance 21-1716 which was adopted on second reading on November 9, 2021. The Ordinance provides an additional option to address side setbacks in the H120 Zoning district when lots are 100 feet or wider. The new option allows a 20 foot setback on each side with an additional 5 foot average setback. The average setback may be applied at any point along the floor of the building, mixed and matched among floors, and/or joined with setbacks taken from the opposite side elevation. The option requires determination of the aggregate volume of the average setback. The resulting building envelope under this option produces a building with less volume than that derived from the Inclined Side Setback option where a 10 foot side setback increases 1 foot for each 3 feet of height above 30 feet.

The use of the new setback option allows the building design to provide large balconies on the east, south and west while minimizing the balconies on the north. The first floor of the building provides for a lobby, stairwells and non-habitable spaces, cabanas, pool for a majority of the residents and beach access. Additionally, a large cabana space is provided for the apartment above on Level 2 with private garden spaces, large deck area, private pool and beach access.

Level 2 includes a fitness center and one apartment (6,086 SF). The building is designed to provide very large apartments with the possibility that on floors which have two apartments (5,484 SF & 2,7891 SF), a purchaser may combine the two units into a larger apartment. This could occur on Levels 3 through 7.

Level 8 provides for one large apartment with approximately 12,438 SF including the balconies. Levels 9 and 10 are considered penthouses with apartments with approximately 12, 500 SF including the balconies.

The rooftop is Level 11 with mechanical equipment in an enclosed area and private decks and pool for the penthouse(s). Table 1 on the following page, summarizes site characteristics and zoning requirements.

Ordinance 21-1716 also allowed for open and unenclosed balcony encroachments on side yards of 10 feet for 50% of the setback and up to 5 feet for the remaining 50 percent of the balcony length. Additional information needs to be provided by the Applicant to support the balcony encroachments and the average setback adjustments.

A traffic study was provided by the Applicant prepared by KBP Consulting dated January 2022. The traffic study was based on 14 dwelling units for a mid-rise multifamily land use. The estimated daily traffic is 64 trips per day with 5 trips in the morning peak hour and 5 trips in the afternoon peak hour. The estimated traffic associated with the existing 24 dwelling unit 2-story apartment buildings was 162 trips be day.

Table 1 - 9165 Collins Site Characteristics and Zoning Requirements

Address	9165 Collins Avenue
General Location	East side of Collins Avenue and south of 92 nd Street
Property Size	23,522 SF or 0.54 Net Acres (37,807 SF or 0.87 Ac w/Private Rec Area)
Zoning District	H120
Adjacent Zoning Districts	H120 north and south, H40 to the west
Future Land Use	High Density Residential/Tourist
Units Permitted	109 Dwelling Units (DUs) per Acre x 0.54 acres = 58 DUs
Units Proposed	14 Apartment Units (may end up less with SF expansion of units)
Proposed Parking Spaces	32 parking spaces - Located in an underground garage with 21,932 SF
Floor Area Detail	
Apartments	14 - (95,347 SF includes stairwells and non-habitable but not balconies)
Level 1	7 Cabanas (885 SF), Cabana (Deck and Pool for Level 2) Lobby, Mechanical and Outdoor Pool
Level 2	3 BR w/Cabana on Level 1 (6,086 SF w/3,263 SF Cabana)
Levels 3-7	4+ BR (5,484 SF) and 3 BR (2,791 SF)
Level 8	4+ BR (8,531 SF)
Level 9	Penthouse Unit (8,401 SF)
Level 10	Penthouse Unit (8,571 SF w/Access to Rooftop Decks/Pool)
Level 11	Rooftop (2 Decks, Pool and Enclosed Interior & Mechanical)
Maximum Building Height	120 Feet (from Wave Crest at 18.25 NGVD to the Floor of the Rooftop)
Modification of Height	20 Feet (from the floor of the Rooftop to top of the enclosed space)
Setbacks	
Front (40 Feet)	40 Feet.
Side South (20 Feet)	25 Feet Averaged
Side North (10 Feet)	25 Feet Averaged
Rear Beach (30 Feet)	30 Feet
Platted Bulkhead (20 Feet)	20 Feet
Pervious Area (20% Min)	25.6%

The proposed development will be accessed from northbound Collins Avenue at a southerly one-way inbound driveway which quickly turns north providing a drop-off lane at the front steps of the building and further connecting to a 2-way drive along the north side of the building. Vehicles can turn left and exit with a westbound right turn on Collins Avenue or turn right proceeding easterly along the north side of the building sloping downward to entering the underground parking garage. A 12 foot wide by 30 foot long loading space with 14.5 feet of height is located at the end of the northside drive in the underground garage.

While the traffic impacts of the development are not expected to be significant, some clarifications are needed. The traffic study is predicated on a typical mid-rise apartment buildings from 11 – 31 stories where the average number of dwelling units varied between 169 – 201 units. This proposed project is 13 non-typical very large square foot units. There are no dimensions on the project driveways or drives. Florida Department of Transportation (FDOT) access approval is required.

A landscape review was performed. Differences were noted between the Architectural Site Plan (Sheet A3.00) and the Landscape Site Plan (L-100). Pervious area requirements for H120 are 20% and 25.6% is provided with the majority of the pervious area occurring in the private recreation area east of the Bulkhead Line. The landscape plan utilizes the landscape treatment provided by the Seaway project on the south side of the property. The landscape plans did not include the required irrigation plan. Dimensions of the landscape buffers need to be provided between properties. A landscape calculation table needs to be provided indicating the minimum required and provided comparisons of the proposed plant material. Provide percentages of landscaping in VUA, street lengths, buffer lengths, percentages of Florida Friendly material and native/drought tolerance material. Proposed Green Buttonwood trees exceeds 30% of the same species and should be reduced in number. Oleander can be used as an accent but does not qualify as a required tree or Palm. The percentage of required trees being proposed as Palm trees should be provided.

The Design Review Group (DRG) met on Friday, January 14, 2022 to discuss and review the proposed site plan request. The DRG was satisfied the impacts of the proposed site plan on public services do not negatively impact the Town. A copy of the draft minutes of the DRG meeting are attached to this report.

Applicant Submitted Package: The Applicant submitted the following items relative to the Site Plan Application: Letter of intent, Site Plan Application, Architectural Plan Set (22 Sheets), Landscape Plan (9 Sheets), Civil Engineering Plans (5 Sheets), survey and Ground Level Lighting Plan.

Staff Recommendation: Development review requirements for this type of project follows Sec 90-20(2)(a) of the Zoning Code which requires:

- The development, as proposed, conforms to the comprehensive plan and the zoning code
- The development, as proposed, will have a favorable or unfavorable impact on the environment and natural resources, including a consideration of the means and estimated cost necessary to minimize the adverse impacts, if any
- The development, as proposed, will have a favorable or unfavorable impact on the economy of the Town of Surfside
- The development, as proposed, will efficiently use or unduly burden water, sewer, solid waste disposal, education, recreation or other necessary public facilities which have been constructed or planned and budgeted for construction in the area

- The development, as proposed, will efficiently use or unduly burden or affect public transportation facilities, including mass transit, public streets, and roads, which have been planned and budgeted for construction in the area, and if the development is or will be accessible by private or public roads or streets
- The development, as proposed, is consistent with the community character of the immediate neighborhood. In addition to consistency there must be congruity between the subject development and neighboring improvements and surroundings including but not limited to form, spacing, heights, setbacks, materials, color, rhythm and pattern of architectural or aesthetic interest or value as well as with any overlays and other development schemes or legislation; and,
- In the event of redevelopment, the applicant shall also submit a detailed plan for demolition.

Staff finds the proposal complies with the Town's Comprehensive Plan in that the developable portion of the parcel is west of the bulkhead line with a density lower than the maximum allowed and the portion of the parcel which is east of the bulkhead line is private recreation. Staff also finds that the proposal generally complies with the Zoning Code, the Town's Zoning in Progress and with the intent of Ordinance 21-1716.

The project has minimal impacts on the environment and natural resources. The lower unit density and the combination of the new side setback/average setback option has significantly reduced the volume of the building thereby, minimizing construction impacts and providing greater air flow and light. Impacts to public facilities and transportation impacts will be reduced with improved access to Collins Avenue and more efficient passenger access to the building with on-site service deliveries.

Redevelopment of the parcel will have a favorable impact on the economy of the Town and the design of the building will be consistent the community character of the beach side neighborhood. With the demolition of the existing structure and the construction of this site, the developer will implement a vibration monitoring program.

The balconies setbacks and average setback adjustments provided in Ordinance 21-1716 limit the primary front extension to not more than 8 feet and the rear of the building to 12 feet west of the bulkhead line. For the interior side setbacks, no more than 50% balcony length at 10 feet or less with the remaining balcony length at no more than 5 feet. The balconies also include a decorative extension of approximately 24 inches, this extension needs to be located within the above noted extensions, not an increased extension.

It is recommended the Applicant's Site Plan package be recommended to the Town Commission for approval subject to the resolution of the following comments.

- Revise the balcony widths to not extend beyond the maximum allowed extension
- Provide dimensional and pavement markings information for the access drives, driveways and parking ramp
- FDOT Access Connection Approval
- Verify whether the landscape areas over the underground garage are included in the pervious area calculations

Town of Surfside Development Review Group (DRG) Zoom Meeting Minutes
Hillcrest Site Plan Application

The Development Review Group (DRG) conducted a zoom meeting on Friday, January 14, 2022 at 1:30 pm. The purpose of the meeting was to review the site plan application by Fort Partners for Hillcrest by the Sea located at 9165 Collins Avenue. The DRG meeting was attended by the following:

Town Staff Participants:

Andrew Hyatt, Town Manager
Jason Greene, Assistant Town Mgr.- CFO
Tony Recio, Town Zoning Attorney
James McGuinness, Town Building Official
Marisol Vargas, Building Department Supervisor
Walter Keller, Town Consultant Planner
Hector Gomez, Public Works Director
Tim Milian, Parks and Recreation Director
John Healy, Town Police Captain

Applicant Participants:

Ian DeMello, Shubin and Bass, PA
William Thompson, Fort Partners
James Galvin, Fort Partners
Kurt Dannwolf, O'Donnell Dannwolf & Partners Architects
Tadao Shimizu, O'Donnell Dannwolf & Partners Architects

Jason Greene, Assistant Town Mgr. – CFO, opened the meeting. The Town Manager, Andrew Hyatt, was driving and monitoring the meeting. Walter Keller, Town Planner, noted the application is a request for Site Plan approval for the property known as the Hillcrest by the Sea Co-op Apartments.

James Galvin, Project Manager for Fort Partners, provided an overview of the proposal. The proposed plan provides for demolishing the existing Hillcrest buildings and constructing a 10-story structure with 13 units although an alternate floor plan provides the possibility of less units if buyers elect to combine units on Levels 3 - 5. The project site is adjacent to the Seaway parcel and the building is designed with similar stone cladding and glass with larger balconies on the Seaway side and smaller balconies on the Carlisle side.

Tadao Shimizu of O'Donnell Dannwolf & Partners Architects discussed the use of the 20 foot setback and 5 foot average setback use as depicted in the floor plan illustrations on Sheet A3.50. Sheet A3.50 provides the floor area, balconies and setback areas for the ground floor (Level 1), Level 2, Levels 3-5 and Levels 6-8. Sheet A3.51 provides for similar information for Levels 9, 10 and the rooftop. Walter Keller noted additional dimensional information is needed to support the setback and average setback use.

James McGuinness, Town Building Official, questioned the status of the ground floor elevation relative to V-Zone implications. Mr. McGuinness noted the cabanas with bathrooms and larger cabana were located below the wave crest elevation and may require the use of flood vents in the various enclosed spaces. Mr. Galvin indicated they would look at this and address this issue.

Hector Gomez, Town Public Works Director, inquired on the trash pickup, proposed water and sewer connections and storm drainage provisions. It was indicated the trash room is located adjacent to the north drive and Hector Gomez was satisfied with the location.

John Healy, Town Police Captain, wanted a description of site access, valet service, drop-off and service deliveries. It was mentioned a lane is available for front building drop-off and an on-site loading zone is located at the east end of the north drive in the underground garage. Captain Healy was comfortable with the drop-off and service delivery proposals. Walter Keller requested information relative to the Florida Department of Transportation access approval.

Mr. Keller asked the DRG members their thoughts on the site plan proposal. The DRG members were in general consensus that the proposed impacts of the site plan amendments were considered and the project should proceed to the Planning and Zoning Board for further review.

RESOLUTION NO. 2022-__

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, [APPROVING/DENYING] AN APPEAL OF THE APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES; [APPROVING/DENYING] A SITE PLAN APPLICATION TO PERMIT THE DEVELOPMENT OF PROPERTY LOCATED AT 9165 COLLINS AVENUE, SURFSIDE, FLORIDA, FOR A MULTIFAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 14 DWELLING UNITS AND 32 PARKING SPACES SUBJECT TO CONDITIONS; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, 9165 Surfside, LLC (“Applicant”), fee simple owner of the property located at 9165 Collins Avenue, Surfside, FL 33154 and legally described in Exhibit “A” attached hereto (the “Property”), subject to two (2) 99-year ground leases held by Hillcrest-by-the-Sea, Associates Inc., a Delaware corporation, who has consented to the Application, submitted an “Application” on August 6, 2021, requesting site plan approval from the Town of Surfside, Florida for a 14-dwelling unit multifamily residential development with 32 parking spaces; and

WHEREAS, the Property was previously developed as the Hillcrest-by-the-Sea Co-op Apartments consisting of 24 multifamily dwelling units which are proposed to be demolished; and

WHEREAS, the subject application was processed while Zoning in Progress had been invoked by notices dated September 7, 2021, December 7, 2021, and March 27, 2022. While similar in form, the successive notices of Zoning in Progress were not identical. Consequently, the rooftop amenities and structures depicted in the site plan may not conform to one or more of the Zoning in Progress notices. To resolve this issue, the Applicant has filed a formal appeal pursuant to Section 90-6(3) of the Town Code seeking the Town Commission’s determination that Zoning in Progress should not be applied to the rooftop amenities; and

WHEREAS, on February 24, 2022, the Planning & Zoning Board, at a duly noticed and televised quasi-judicial public hearing, after reviewing the Application and hearing from its professional staff, the Applicant, and members of the public, considered the requirements of the Town Zoning Code and the Application’s consistency with the Town of Surfside Comprehensive Plan and recommended the Application for approval with staff conditions and an additional condition that balcony projections, including all architectural features, not extend beyond the maximum allowable encroachment for a balcony; and

WHEREAS, on April __, 2022, the Town Commission, at a duly noticed and televised quasi-judicial public hearing, reviewed the Application and heard from its professional staff, the Applicant, and members of the public, and considered the recommendation of the Planning & Zoning Board, the requirements of the Town Zoning Code, the Application’s consistency with the Town of Surfside’s Comprehensive Plan, and the substantial competent evidence presented at the hearing.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SURFSIDE, FLORIDA, APPLICABLE TO APPLICANT, ITS SUCCESSORS AND/OR ASSIGNS, AS FOLLOWS:

SECTION 1. RECITALS AND FINDINGS OF FACT.

A. All recitals set forth above are incorporated into the body of this Resolution as if same were fully set forth herein.

B. The Town Commission finds that the proposed Site Plan as conditioned, is in compliance with the requirements and criteria set forth in the applicable Town Code and the Comprehensive Plan.

SECTION 2. APPEAL OF APPLICATION OF ZONING IN PROGRESS TO ROOFTOP AMENITIES. The appeal of the application of zoning in progress to the rooftop amenities depicted in the site plan is hereby [approved/denied].

SECTION 3. SITE PLAN [APPROVAL/DENIAL]. The request to approve a site plan is hereby [approved/denied] based on the plans submitted to the Building Department as part of the Application as updated on February 15, 2022, by O’Donnell, Dannwolf, and Partners Architects, Inc., consisting of the following sheets:

- A0.00, A1.00, A2.00, A3.00, A3.50, A3.51, A4.00 – A4.07, A5.00 – A5.03, A6.00, A7.00, and A7.01
- C100, C101, C200, C300, and C400
- L-000, L-100, L-200, L-201, and L-300 – L-305.

SECTION 4. CONDITIONS. The approval granted herein is subject to the following conditions:

1. Prior to building permit, the Applicant shall:
 - a. Execute a recorded covenant that states that the landscaping material and design approved per the site plan shall not be modified without a site plan amendment.

- Plant and materials may be changed out due to maintenance but shall be reinstalled with the same type of plants and materials per the approved site plan.
- b. Clarify floor criteria requirements for cabanas and cabana bathrooms on level 1 and for flood venting of level 2, subject to the approval of the Building Official.
 - c. If the appeal of the application of zoning in progress to the rooftop amenities is denied, the applicant shall revise the site plan to conform to the applicable land development regulations under the Zoning in Progress notice published on March 27, 2022.
 - d. If the Town Commission concurs with the Town's Staff Report and the Planning & Zoning Board and determines that the architectural features extending from the balconies beyond the maximum allowable balcony projection into the interior side setback are not permissible, then the Site Plan shall be revised to adhere to the maximum allowable projection for a balcony.
 - e. Demonstrate compliance with Ordinance No. 2022-1720, adopted March 8, 2022 (codified in Section 14-104 of the Town Code), regarding construction sites.
 - f. Tender the Applicant's voluntary proffer of \$180,000.00 towards the cost of water and sewer improvements on Collins Avenue. Said funds may be used at the Town's discretion for design, engineering, planning, permitting, installation and construction observation or for any costs related to the planning, design, development, and implementation of water and sewer improvements.
 - g. Demonstrate compliance with Section 14-30 of the Town Code regarding the required bond for damage to Town property.
 - h. Comply with calculating the cost of construction and auditing procedures pursuant to Town of Surfside Ordinance No. 16-1656 (Section 14-29 of the Town Code).
 - i. Provide water/sewer fees to the Town of Surfside in the amount prescribed in Town Code Section 78-83 and calculated using all fixtures in the buildings. Said fee shall be paid at the issuance of a Building Permit and there shall be no offset for existing fixtures if such offset is prohibited by law.
 - j. Dedicate a hardpack easement to the Town in form and substance acceptable to the Town Attorney, and in compliance with Section 90-60.1(5) of the Town Code.
2. During construction, the Applicant shall:
- a. Comply with all applicable requirements of Ordinance No. 2022-1720, adopted March 8, 2022 (codified in Section 14-104 of the Town Code), regarding construction sites.
 - b. Comply with Section 14-32 of the Town Code regarding construction hours and noise.

- c. Prior to commencement of any above-grade work, obtain approval from the Florida Department of Transportation for both driveway access points to Collins Avenue.
3. Prior to Temporary Certificate of Occupancy, or Permanent Certificate of Occupancy if a Temporary Certificate of Occupancy is not granted, the Applicant shall:
- a. Exclusive of and in addition to any financial proffers, remove existing 8-inch water main and install a new C-900 8-inch water main within Collins Avenue for the entire width of the Property and the Seaway property located at 9133-9149 Collins Avenue (the “Seaway Property”).
 - b. Tie-in to existing sewer main using existing sewer laterals. New sewer cut-ins shall not be approved.
 - i. Ensure the Town's water/sewer infrastructure is ready to receive the approved utility connections referenced in condition no. 1. above.
 - ii. Any damage to the existing sewer main or adjacent water main caused by the Applicant’s development activities will be restored by the Applicant to the satisfaction of the Town’s Public Works Department.
 - c. Improve the entire dune system east of and adjacent to the Property and the Seaway Property, bringing the elevation to +15.00 feet NGVD or the elevation of the dune adjacent to the Surf Club property, whichever is less, and improve dune as follows subject to FDEP approval:
 - i. Preserve existing sea grapes;
 - ii. Remove all invasive species;
 - iii. Replant island with 6-gallon sea oats or approved equivalent; and
 - iv. Permit applications, including existing conditions plan, grading plan, tree disposition plan, and landscape plan, shall be submitted for approval by the Florida Department of Environmental Protection and the Town’s Public Works department prior to commencement work. Existing trees may be relocated as approved by FDEP and the Town.
 - d. Plant shade trees as close as possible to the sidewalk abutting the Property for providing shade to pedestrians using the sidewalk.
 - e. Restore all adjacent roadways damaged by construction to Town of Surfside and FDOT standards.
 - f. Maintain all landscaping materials on site in good condition, replacing diseased, dying or dead plant material as necessary so as to present a healthy and orderly appearance at all times. A bond in the amount and duration determined by the Town Manager or designee shall be posted to ensure the survival of landscaping material for one or more years after the Certificate of Occupancy is issued.
4. General conditions:
- a. All utilities shall be installed underground.

- b. Applicant shall improve the public sidewalks abutting the Property with pavers with the design approved by the Town Manager or designee. Applicant shall provide a suitable transition between public and private sidewalks.
- c. All voluntary proffers and commitments made to the Town of Surfside pursuant to the Resolution, including but not limited to, those described in these Conditions, shall be binding upon Applicant, its heirs, successors and assigns, and, as to payments, shall be due and payable, or in the event of an action, shall be performed, in strict compliance with the manner and within the time frames set forth in these Conditions and any change in ownership, or modification of the site plan or design, whether substantial or minor in nature, shall not excuse the performance or the payments, all of which are part of the Conditions subject to which the Applicant's request for site plan approval were granted.
- d. In the event the Applicant obtains a building permit and the permit expires, it shall be required to comply with Section 14-55 entitled "Vacant lots or buildings" of the Town of Surfside Code, including but not limited to, the posting of a bond to defray the cost the Town may incur if required to secure and maintain the site, if necessary, and as may be required by the Building Official. The Applicant for this purpose shall provide a bond not to exceed five (5) percent of the construction cost, as required by the Building Official. These funds shall be used to secure the Property and the construction site in the event construction is abandoned or ceases prior to completion.
- e. The Applicant shall design the project to be LEED silver certifiable and use best efforts to obtain Silver or its equivalent certification within 12 months of issuance of the Certificate of Occupancy and maintain such certification thereafter.
- f. The Applicant shall meet all requirements of the Department of Public Works and Miami-Dade County for storm drainage services.
- g. The Applicant agrees that all contractor and subcontractor agreements applicable to this development shall include a separate clause prohibiting construction workers from parking on residential streets or public parking lots and that Applicant shall submit the proposed clause for the approval of the Town Manager or designee within 45 days of the effective date of this Resolution.
- h. The Applicant shall provide monthly reports to the Town Manager of any problems or complaints with regard to workers parking their vehicles in residential neighborhoods.
- i. If the Town Manager deems necessary, the Applicant shall provide more frequent reports and develop additional preventive measures to protect the residential neighborhoods.
- j. Any change in ownership of the current property owner shall be fully disclosed in writing to the Town Manager and Town Attorney immediately upon said

change occurring. Any change of ownership of the Property shall not extend or modify any of the dates for payment or performance included in this Resolution or in any related agreements referenced in this Resolution nor shall any change of ownership modify or excuse or extend any of the payment obligations contained in this Resolution or in any related agreements referenced in this Resolution. All payment obligations and performance obligations of any kind set forth in this Resolution and in these Conditions are binding on the Applicant, its heirs, successors and assigns.

- k. The Applicant shall only apply for a Certificate of Occupancy and Certificate of Use from the Town once in compliance with all terms and conditions of this Development Order are met and documented. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the Conditions, in accordance with the law.

5. Ongoing Operational Conditions:

- a. The rooftop deck shall not have live music. Recorded music, over a distributive sound system, no greater than 75 dba measured 1 meter from any speaker, is permitted only between the hours of 11am to 7pm. No music is permitted prior to 11am or after 7pm.
- b. The rooftop deck and garden shall not be used for organized events or activities after dusk.
- c. All lighting on the rooftop deck shall be internally focused.
- d. To the extent that a valet parking operation is used to service the building, the Applicant shall provide a copy of the valet operations agreement to the Town Manager to confirm the required number of valet attendants to optimize the on-site vehicle stacking.
- e. All employees shall be required to park on private property.
- f. All deliveries and loading after Certificate of Occupancy, shall occur on-site and shall not block the street, sidewalk or any right-of-way.

6. Revisions to Plans:

- a. A reduction in the total number of units, with no other exterior or operational changes, shall not require formal amendment of this site plan approval.
- b. Changes to the plans based on conditions in Section 4 above, 1.c and 1.d, shall not require a formal site plan amendment of the site plan approval before the Town Commission, and shall instead be reviewed and approved by the Town Planner.

- c. Any other changes to the approved site plan, including changes to lot coverage, volume, height, or massing of the building, shall require a formal site plan amendment.

SECTION 5. VIOLATION OF CONDITIONS. Failure to adhere to the terms and conditions of this Resolution shall be considered a violation of the Town Code and persons found violating the conditions shall be subject to the penalties prescribed by the Town Code, including but not limited to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town Code before it may commence construction or operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination by the Town Commission, following a public hearing, that the Applicant is in non-compliance with the Town Code or the conditions of this Approval and has failed to cure, or to provide an acceptable plan to timely cure, the non-compliance.

SECTION 6. SEVERABILITY CLAUSE. In the event any portion or section of this Resolution is determined to be invalid, illegal or unconstitutional by a court or agency of competent jurisdiction, such decision shall in no way affect the remaining portions of this Resolution, which shall remain full force and effect.

SECTION 7. EFFECTIVE DATE. This Resolution shall become effective upon adoption.

PASSED AND ADOPTED this ___ day of April 2022.

Motion by: _____,

Second by: _____.

FINAL VOTE ON ADOPTION

Commissioner Fred Landsman	_____
Commissioner Marianne Meischeid	_____
Commissioner Nelly Velazquez	_____
Vice Mayor Jeffrey Rose	_____
Mayor Shlomo Danzinger	_____

Shlomo Danzinger, Mayor

ATTEST:

Sandra N. McCready, MMC, Town Clerk

**APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE TOWN OF SURFSIDE ONLY:**

Weiss Serota Helfman Cole & Bierman, P.L.
Town Attorney

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

I, Sandra N. McCready, Town Clerk of the Town of Surfside, Florida, do hereby certify that the above and foregoing is a true and correct copy of Resolution No. 2022-_____ adopted by the Town Commission at its meeting held on the __ day of April 2022.

Issued: _____

Sandra McCready, MMC
Town Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF PROPERTY

Parcel 1:

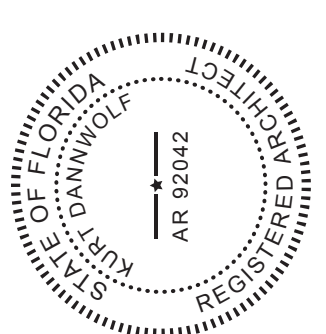
Lots 6 and 7, Block 2 of "Altos del Mar No. 4" according to the plat thereof as recorded in Plat Book 10 at Page 63 of the Public Records of Miami-Dade County, Florida more particularly described as follows:

Begin at the Southwest corner of Lot 6; thence run North 05°55'47" West, along the Westerly Line of said Lot 6 and Lot 7 and the Easterly Right of Way Line of Collins Avenue as shown on the Florida Department of Transportation Right of Way Map for State Road A-1-A (Collins Avenue) Section 87060, for a distance of 71.43 feet to a point; thence run North 05°12'20" West, along the Westerly Line of said Lot 7 and the Easterly Right of Way Line of Collins Avenue as shown on said Right of Way Map, for a distance of 28.69 feet to the Northwest corner of said Lot 7; thence run North 87°04'29" East, along the Northerly line of said Lot 7 for a distance of 280.00 feet to the Northeast corner of said Lot 7; thence run South 05°43'20" East, along the Easterly Line of said Lots 7 and 6, for a distance of 100.12 feet to the Southeast corner of said Lot 6; thence run South 87°04' 29" West, along the Southwesterly line of said Lot 6, for a distance of 280.00 feet to the Point of Beginning.

Parcel 2:

A Parcel of land lying Easterly of and adjacent to Lots 6 and 7, Block 2 of "Altos de Mar No. 4" according to the plat thereof as recorded in Plat Book 10 at Page 63 of the Public Records of Miami Dade County, and Westerly of the Erosion Control Line as shown on the "Erosion Control Line" according to the plat thereof as recorded in Plat Book I 05 at Page 62 of the Public Records of Miami Dade County, more particularly described as follows:

Begin at the Northeast corner of said Lot 7, thence run North 87°04 '29" East along the Easterly extension of the North line of said Lot 7 for 95.89 feet to a point on the Erosion Control Line as shown in said Plat Book 105 at Page 62, thence run South 05°23' 57" East, along said Erosion Control line, for a distance of 100.09 feet to a point on the Easterly extension of the South line of said Lot 6; thence run South 87°04'29" West, along the aforesaid Easterly extension of Lot 6, for a distance of 95.32 feet to the Southeast corner of said Lot 6; thence run North 05°43'20" West, along the Easterly line of said Lots 6 and 7, for a distance of 100.12 feet to the Point of Beginning.



HILLCREST
9165 COLLINS AVE
SURFSIDE, FL 33154

MULTI-FAMILY AND NON-RESIDENTIAL SITE-PLAN APPLICATION SUBMISSION
FEBRUARY 15, 2022

REQUIRED AVERAGE SIDE SETBACK VOLUME

Level	Floor Area	Floor Height	Floor Volume
REQUIRED NORTH SETBACK VOLUME			
LEVEL 01	973.75 SF	13'-10"	13,470.18 CF
LEVEL 02	973.75 SF	13'-10"	13,470.18 CF
LEVEL 03	973.75 SF	11'-7"	11,279.25 CF
LEVEL 04	973.75 SF	11'-7"	11,279.25 CF
LEVEL 05	973.75 SF	11'-7"	11,279.25 CF
LEVEL 06	973.75 SF	11'-7"	11,279.25 CF
LEVEL 07	973.75 SF	11'-7"	11,279.25 CF
LEVEL 08	973.75 SF	11'-7"	11,279.25 CF
LEVEL 09	973.75 SF	11'-7"	11,279.25 CF
LEVEL 10	973.75 SF	14'-3"	13,975.91 CF
GRAND TOTAL	9,737.50 SF		119,771.00 CF
REQUIRED SOUTH SETBACK VOLUME			
LEVEL 01	989.97 SF	13'-10"	13,473.79 CF
LEVEL 02	989.97 SF	13'-10"	13,473.79 CF
LEVEL 03	989.97 SF	11'-7"	11,280.03 CF
LEVEL 04	989.97 SF	11'-7"	11,280.03 CF
LEVEL 05	989.97 SF	11'-7"	11,280.03 CF
LEVEL 06	989.97 SF	11'-7"	11,280.03 CF
LEVEL 07	989.97 SF	11'-7"	11,280.03 CF
LEVEL 08	989.97 SF	11'-7"	11,280.03 CF
LEVEL 09	989.97 SF	11'-7"	11,280.03 CF
LEVEL 10	989.97 SF	14'-3"	13,817.82 CF
GRAND TOTAL	9,866.72 SF		119,269.60 CF

PROVIDED AVERAGE SIDE SETBACK VOLUME

Level	Floor Area	Floor Height	Floor Volume
PROVIDED NORTH SETBACK VOLUME			
LEVEL 01	1,597.25 SF	13'-10"	25,355.95 CF
LEVEL 02	1,365.78 SF	13'-10"	18,063.26 CF
LEVEL 03	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 04	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 05	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 06	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 07	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 08	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 09	1,365.78 SF	11'-7"	15,129.23 CF
LEVEL 10	1,284.18 SF	14'-3"	18,296.61 CF
GRAND TOTAL	13,577.67 SF		167,793.22 CF
PROVIDED SOUTH SETBACK VOLUME			
LEVEL 01	1,596.83 SF	13'-10"	22,117.82 CF
LEVEL 02	1,011.20 SF	13'-10"	13,984.34 CF
LEVEL 03	876.83 SF	11'-7"	10,145.00 CF
LEVEL 04	876.83 SF	11'-7"	10,145.00 CF
LEVEL 05	876.83 SF	11'-7"	10,145.00 CF
LEVEL 06	876.83 SF	11'-7"	10,145.00 CF
LEVEL 07	876.83 SF	11'-7"	10,145.00 CF
LEVEL 08	876.83 SF	11'-7"	10,145.00 CF
LEVEL 09	1,008.39 SF	11'-7"	11,680.51 CF
LEVEL 10	657.73 SF	14'-3"	12,222.71 CF
GRAND TOTAL	9,731.17 SF		120,876.36 CF

AVERAGE SIDE SETBACK SUMMARY

- 100' LOT WIDTH x 5% = 5' AVERAGE SETBACK
- REQUIRED SETBACK VOLUME (NORTH + SOUTH) = 238,040.80 CF
- PROVIDED SETBACK VOLUME (NORTH + SOUTH) = 288,672.95 CF
- EXCESS VOLUME SUBTRACTED = 49,632.15 CF
- LEVELS APPLIED TO (LEVELS 1 - 10) = 10 LEVELS
- EXCESS VOLUME PER LEVEL (AVERAGE) = 4,963.21 CF
- HEIGHT PER LEVEL (TYPICAL) = 11.58 FT
- **EXCESS FLOOR AREA REMOVED PER LEVEL (AVERAGE) = 428.00 SF**

FLOOR AREA DATA

ENTRY LEVEL	Floor Area	Floor Volume
LEVEL 02	6,290.97 SF	77,390.00 SF
LEVEL 03	6,290.97 SF	77,390.00 SF
LEVEL 04	6,290.97 SF	77,390.00 SF
LEVEL 05	6,290.97 SF	77,390.00 SF
LEVEL 06	6,290.97 SF	77,390.00 SF
LEVEL 07	6,290.97 SF	77,390.00 SF
LEVEL 08	6,290.97 SF	77,390.00 SF
LEVEL 09	6,290.97 SF	77,390.00 SF
LEVEL 10	6,290.97 SF	77,390.00 SF
ROOFTOP	95,397.42 SF	

PARKING DATA

PARKING TOTALS	Count
19' x 18' Tandem	25
19' x 18' ADA Standard	6
12' x 5' ADA Standard	1
32	

PARKING BY UNIT TYPE

3 BEDROOM PARKING	12
4+ BEDROOM PARKING	16
4+ BEDROOM PARKING (TANDEM)	2
ADA PARKING	1
VISITOR	1
32	

BUILDING UNIT DATA

UNIT MATRIX - TOTALS

LEVEL 02	1
3 BEDROOM	1
LEVEL 03	1
3 BEDROOM	1
LEVEL 04	1
3 BEDROOM	1
LEVEL 05	1
3 BEDROOM	1
LEVEL 06	1
3 BEDROOM	1
LEVEL 07	1
3 BEDROOM	1
LEVEL 08	1
3 BEDROOM	1
LEVEL 09	1
4+ BEDROOM	1
LEVEL 10	1
PENTHOUSE	1
GRAND TOTAL	14

ZONING ANALYSIS

SURFSIDE, FLORIDA CODE OF ORDINANCES: CHAPTER 90 - ZONING

LOT DISTRICT	ALLOWED / REQUIRED	PROPOSED / PROVIDED
LOT DISTRICT	H120	
LOT AREA		37,807 SF (GROSS) / 25,441 SF (NET)
MINIMUM LOT WIDTH	50'-0" MIN	100'-0"
MINIMUM LOT AREA		
MAXIMUM LOT COVERAGE		
MINIMUM PERVIOUS AREA	20%	10,332.62 SF = 27.30%
DEFINITION	Area maintained in its natural condition, or covered by a material that permits infiltration or percolation of water directly into the ground. Pavers or pervious hard materials, including pervious concrete, shall not be utilized for the calculation of pervious area.	
FLOOR AREA	The sum of the gross horizontal areas of the several floors of a building or buildings, measured from the exterior faces of exterior walls or from the centerline of walls separating two attached buildings, including but not limited to: a.) Elevator shafts or stairwells at each floor; b.) Floor space used for mechanical equipment; c.) Floor space in penthouses; d.) Attic floor space; e.) Floor space in interior balconies or mezzanines; f.) Floor space in porches or pools enclosed with plastic, glass, or permanent type of material; g.) Any floor space used for residential use not located within the building; h.) Garages, sheds and accessory buildings.	SEE FLOOR AREA TABLE FOR AREA PER LEVEL / STORY
DEFINITION		
SETBACKS		
PRIMARY FRONTAGE		
SIDE	10% OF THE LOT FRONTAGE, NO LESS THAN 10 FEET OR 20% OF LOT FRONTAGE + ADDITIONAL 5% AVERAGE (25% TOTAL) WHEN A BUILDING EXCEEDS HEIGHT OF 30', THE WIDTH OF EACH SIDE YARD SHALL BE INCREASED BY 1' FOR EVERY 2' OF BUILDING HEIGHT ABOVE 30'	40'-0" MIN
SIDE (MODIFICATION)		
REAR	SILLS, CORNICES, ROOF EAVES AND ORNAMENTAL FEATURES	30'-0" MIN
PROJECTIONS INTO REQUIRED SETBACKS	OPEN, UNENCLOSED BALCONIES INTO A REQUIRED PRIMARY (FRONT), SECONDARY (CORNER), OR REAR SETBACK	2'-0" MAX
MINIMUM UNIT SIZES	OPEN, UNENCLOSED BALCONIES INTO AN INTERIOR SIDE SETBACK	8'-0" MAX
2-BEDROOM APARTMENTS	NO MORE THAN 80% OF A BALCONY'S FOOTPRINT SHALL OVERHANG THE BALCONY ON A LOWER LEVEL.	25% MAX @ 10'-0", 75% MAX @ 5'-0"
3-BEDROOM APARTMENTS		90% MAX
BUILDING HEIGHT		
DEFINITION	Fat Roofs: The vertical distance from the average datum or elevation of the crown of the roof fronting the lot or building site, to the highest point of the roof. In the H120 district no lots or parcels where construction is regulated by the Florida Coastal Construction Code, maximum height shall be measured from the established elevation determined by the FDEP for the first floor.	120'-0"
MAX HEIGHT		12 STORIES
MAX STORES		11 STORIES (10 + 1 Rooftop)
MODIFICATIONS OF HEIGHT	Architectural elements per Sec. 90-44.1: 20 FT AND 30% MAX AGGREGATE ROOF AREA Mechanical equipment rooms per Sec. 90-44.2: 20 FT AND 30% MAX AGGREGATE ROOF AREA Height variations per Sec. 90-44.4: NO LESS THAN 5 FT	20'-0" 5'-0"
PARKING		
MULTI-FAMILY RESIDENTIAL	MINIMUM OF 2.0 PARKING SPACES PER 2-BEDROOMS AND 3-BEDROOMS MINIMUM OF 2.25 PARKING SPACES PER 4-BEDROOMS OR MORE One unencumbered parking space, tandem or regular, must be provided for each dwelling unit and visitor parking services shall be provided at all times. One visitor parking space for each 15 dwelling unit, unless tandem parking with visitor services is provided in which case one visitor space for each 20 units is required. 2%, BUT NO FEWER THAN ONE SPACE	12 SPACES (2 SPACES EACH FOR 6 UNITS) 18 SPACES (2.25 SPACES EACH FOR 8 UNITS) 1 1
TANDEM PARKING		12 SPACES
VISITOR PARKING		18 SPACES
ACCESSIBLE PARKING		2 TANDEM INCL. FOR 4+ BEDROOMS (BOTH IN PRIVATE GARAGE)
ACCESSIBLE VAN PARKING	ONE FOR EVERY SIX ACCESSIBLE PARKING SPACES PROVIDED	SAME AS ADA SPACE
LOADING		32 SPACES TOTAL
MULTI-FAMILY DWELLING BUILDING	1 SPACE FOR 20,000 SF - 100,000 SF. MINIMUM SIZE = 12 FT WIDTH x 30 FT DEPTH x 14.5 FT HEIGHT	1 (12 ft x 30 ft x 14.5 ft)

PROPERTY INFORMATION AND DATA

PROPERTY ADDRESS: 9165 COLLINS AVENUE
SURFSIDE, FLORIDA 33154

FOLIO NUMBER: 14-2235-021-0001

SUB-DIVISION: HILLCREST BY THE SEA CO-OP APTS INC

LEGAL DESCRIPTION: LOTS 6 AND 7 OF BLOCK 2 OF ALTOS DEL MAR NO. 4 AS RECORDED IN PLAT BOOK 19, PAGE 63, TOGETHER WITH LOTS 6 AND 7 OF BLOCK 2 BOUNDED ON NORTH BY EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 7, BOUNDED ON THE EAST BY THE EROSION CONTROL LINE, AS RECORDED IN PLAT BOOK 105, PAGE 62, BOUNDED ON THE SOUTH BY THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 6, AND BOUNDED ON THE WEST BY THE EAST LINE OF SAID BLOCK 2.

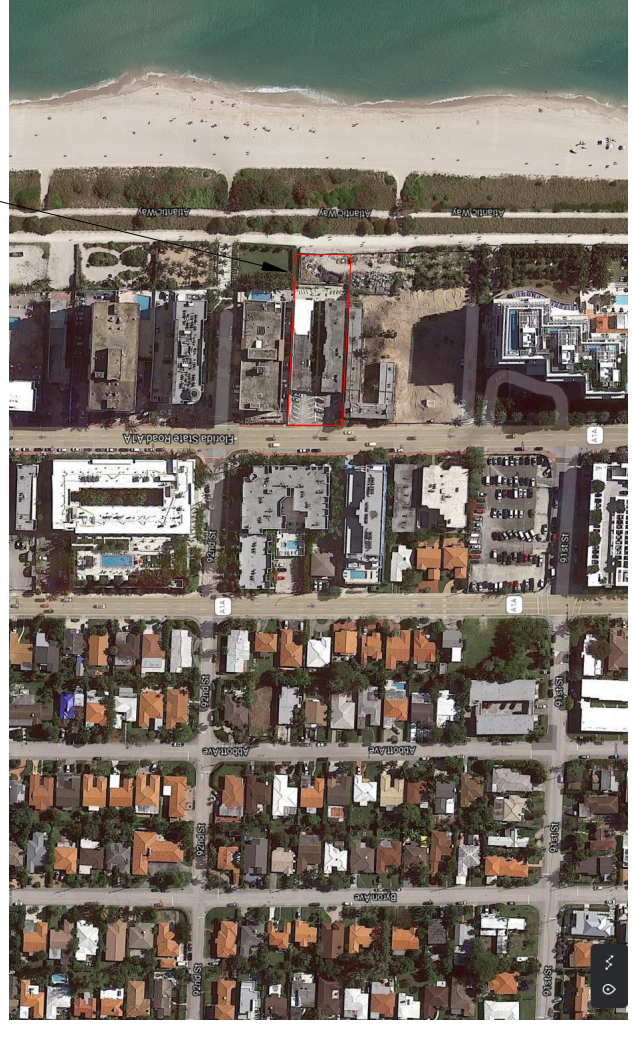
SECTION 35, TOWNSHIP 52 SOUTH, RANGE 42 EAST, TOWN OF SURFSIDE, MIAMI-DADE COUNTY, FLORIDA

H120

ZONE 'X'

EL. +18.2' NGVD

SITE LOCATION



CLIENT
KURT DANWOLF
8011 COLLINS AVENUE
SURFSIDE, FLORIDA 33154

ARCHITECT OF RECORD
CORNEIL DANWOLF & PARTNERS ARCHITECTS
4322 HOLLWOOD BLVD. HOLLWOOD, FL 33030
T. 784.263.5252

CIVIL, TRAFFIC & PARKING ENGINEER
CORNEIL DANWOLF & PARTNERS ARCHITECTS
4322 HOLLWOOD BLVD. HOLLWOOD, FL 33030
T. 784.263.5252

LANDSCAPE ARCHITECT
FERNANDO WONG, LANDSCAPE ARCHITECT
6160 AQUA AVE SUITE 107, MIAMI BEACH, FL 33141
T. 784.749.4140

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY USING DIGITAL SIGNATURE AND DATE CERTIFICATION. ANY ATTEMPT TO REPRODUCE OR RECREATE THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF CORNEIL DANWOLF & PARTNERS ARCHITECTS INC. IS NOT PERMITTED.

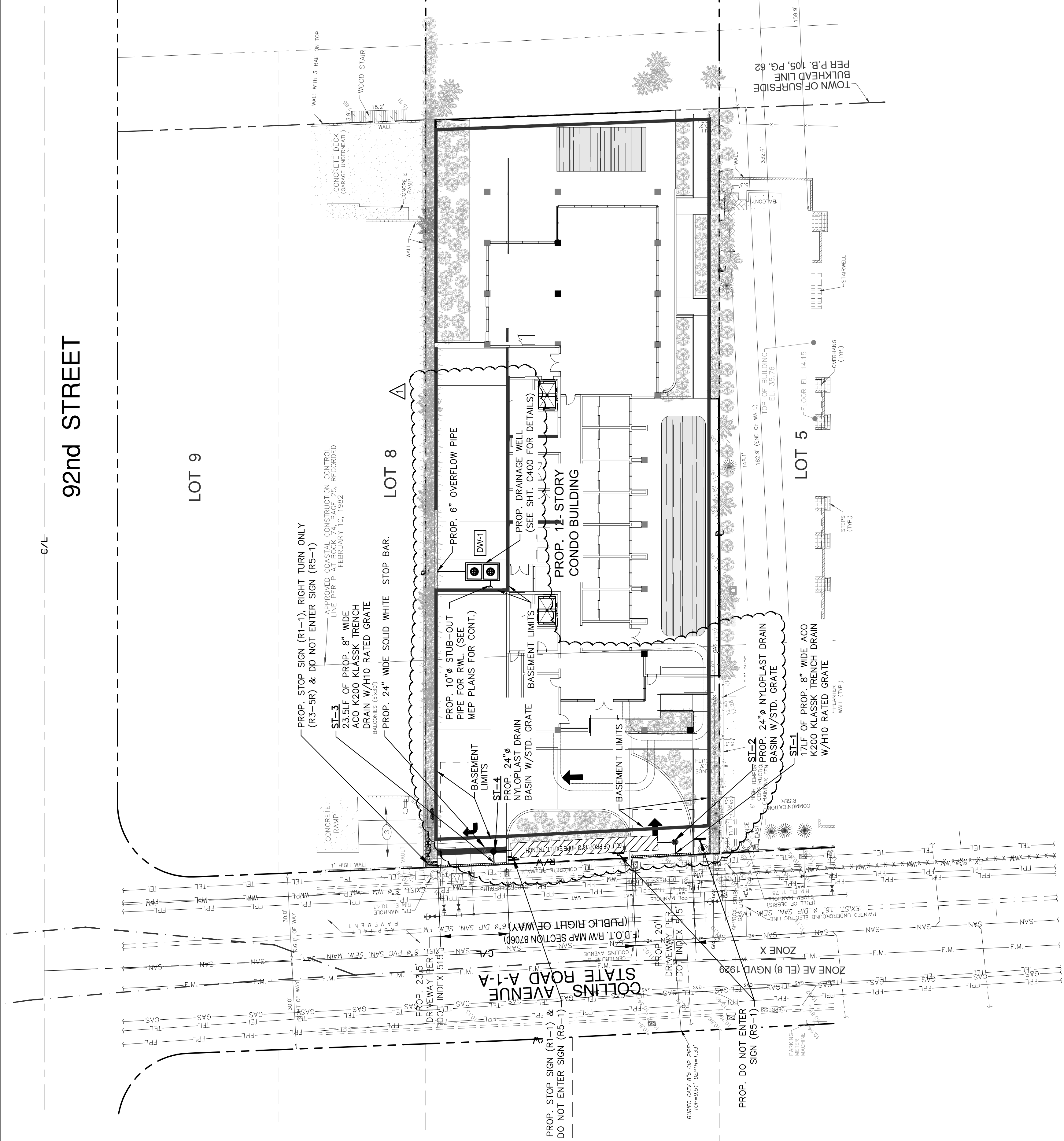
PROJECT

REVISIONS

KEY PLAN

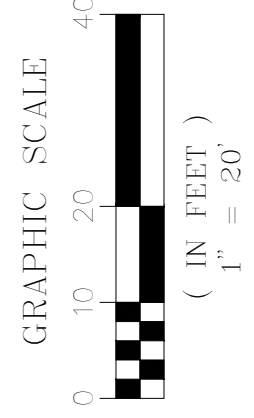
SCALE: 3/32" = 1'-0"
NOTE: THIS DRAWING IS 24"X36" DO NOT SCALE DRAWINGS
DATE: 03/20/20
DRAWN BY: J. J. J. J.
CHECKED BY: J. J. J. J.

ZONING INFORMATION & BUILDING DATA SHEET NO. **A2.00**



LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (NGVD)
- PROP. DRAINAGE WELL (REFER TO SHEET C400 FOR DETAILS)
- DW-1 (1' x 1' x 1' LONG)



NOTES:

1. EXISTING OFFSITE SIDEWALKS AND CURB RAMPS TO BE RECONSTRUCTED OR REPLACED WHERE NON-COMPLIANT TO CITY OF SURSIDE AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION REGULATIONS. ALL EXISTING SIDEWALKS MUST BE MECHANICALLY RESTRAINED W/MEGA LUGS OR APPROVED EQUAL.

HILLCREST
9317 Collins Ave Surfside, FL

BASIN INFORMATION FOR PROP. DRAINAGE SYSTEM

Storm frequency, T = 5 Years
 Minimum time of Concentration, $t_c = 10$ Min.
 The IDF relation used by DERM, $I = 308.5(48.6T^{0.11} + 10(0.5895 + T^{0.05}))$
 Intensity, I = 6.17 (inches/hour)

RATIONAL METHOD PEAK RUNOFF CALCULATIONS

DRAINAGE BASIN ID	TOTAL DRAINAGE BASIN AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)	WEIGHTED "C" VALUE	CONTRIBUTING DRAINAGE AREA (CXA) (SQ. FT.)	INTENSITY (IN/HR)	PEAK RUNOFF (Q-CUA) (CFD)
Building	0.37	0.37	0.00	0.95	0.35	6.17	2.17

DRAINAGE WELL DESIGN

Well Discharge Capacity: 375 gpm/ft of head
 Well Discharge Capacity: 0.84 cfs/ft
 Cell Diameter: 80 inches
 Drainage Well Capacity: 80 cfs
 Well Wounding: 1.76 ft.
 Ground Water Table: 2.07 ft. N.G.V.D.
 Provided Well Structures Min. Top Elevation: 8.00 ft. N.G.V.D.

DRAINAGE BASIN ID	AVAILABLE EFFECTIVE HEAD (F.L. NGVD)	WELL CAPACITY (CFS/WELL)	DRAINAGE BASIN AREA (AC)	PEAK RUNOFF (CFS)	NUMBER OF WELLS PROPOSED	TOTAL WELLS CAPACITY (CFS)	SAFETY FACTOR
Building	4.17	3.48	0.370	2.17	1.00	3.48	1.61

CLIENT
9317 COLLINS AVE
SURFIDE, FLORIDA 33154

ARCHITECT OF RECORD
OTONNELL DANNOLO AND PARTNERS ARCHITECTS
242 HOLLYWOOD BLVD., HOLLYWOOD, FL 33020
T: 954-978-8333
F: 954-978-8333

CIVIL TRAFFIC & PARKING ENGINEER
810 BISCAYNE BLVD. UNIT 308, MIAMI, FL 33139
T: 786-298-9582

LANDSCAPE ARCHITECT
FERNANDO VINDO - OUTDOOR LIVING DESIGN
652 ADRIANA SUITE 101, MIAMI, FL 33139
T: 305-696-0000



PROJECT
ARCHITECTURE AND DESIGN
242 HOLLYWOOD BLVD., HOLLYWOOD, FL 33020
WWW.OTONNELLARCHITECTS.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	02-24-2022	CITY COMMENTS

KEY PLAN

SCALE: NOTE THIS DRAWING IS SHOWN. DO NOT SCALE DRAWINGS.
 DRAWN BY: GPP
 DRAWING TITLE:

PAVING, GRADING AND DRAINAGE PLAN

SHEET NO. **C200**



Call Bill or visit sunshine@oceaneng.com two full business days before bidding to have bonded facilities located and marked.
 Check positive response codes before pre-bid!

DRAINAGE STRUCTURES STRUCTURAL NOTES:

DESIGN CRITERIA: DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.

DESIGN LIVE LOADS: THE TOP SLAB OF DRAINAGE STRUCTURE WITHIN TRAFFIC AREAS SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS 20 LOADING).

GEOTECHNICAL CRITERIA: SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. FOUNDATION DESIGN TO BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.

CONCRETE: CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.

BEINFORCING: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.

MORTAR: MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.

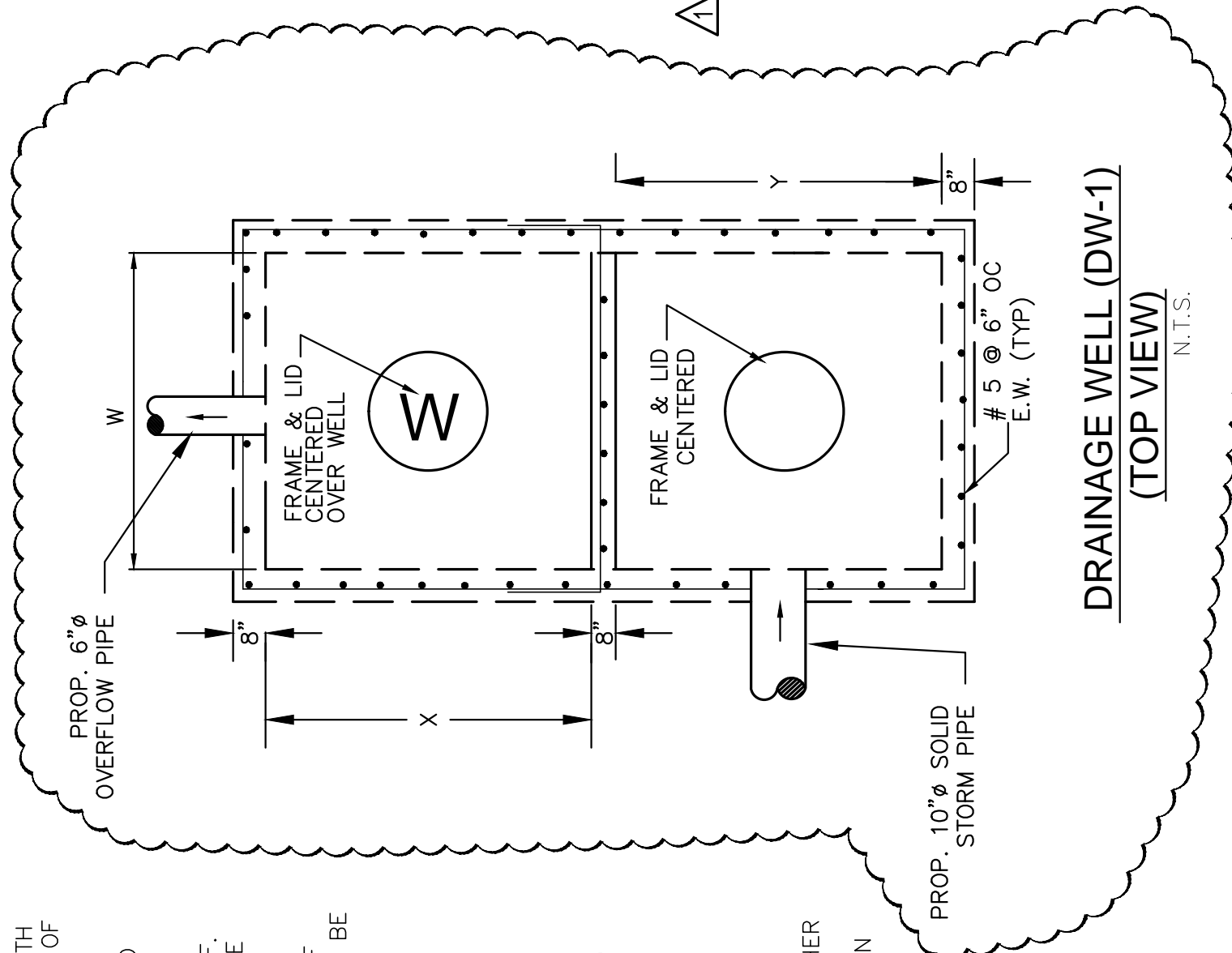
SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.

MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER.

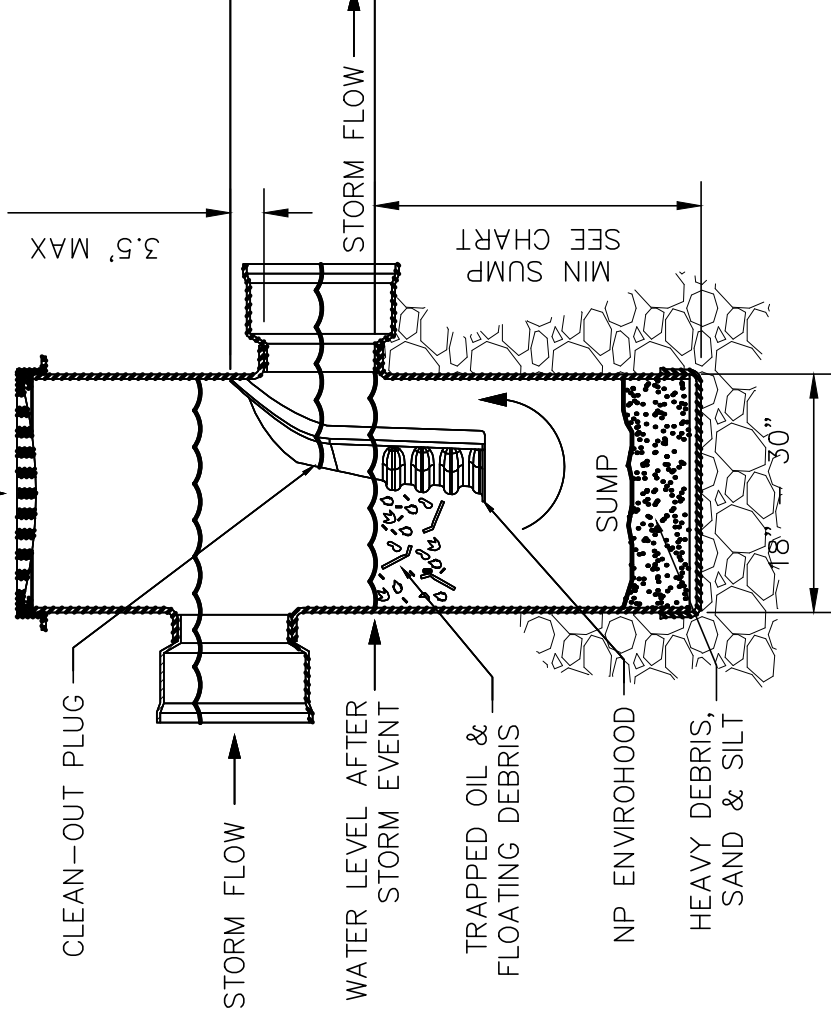
SLAB AND WALL THICKNESS: ALL DRAINAGE WELLS LOCATED WITHIN THE DESIGNATED FIRE TRUCK STAGING AREAS WILL BE DESIGNED WITH 12-INCH THICK TOP AND BOTTOM SLABS AND 8-INCH THICK WALLS. ALL OTHER WELLS OUTSIDE OF THE DESIGNATED FIRE TRUCK STAGING AREAS WILL BE DESIGNED WITH 8-INCH TOP AND BOTTOM SLABS AND 6-INCH WALLS. REFER TO ARCHITECTURAL SHEET A-2.00A FIRE TRUCK ACCESS SITE PLAN TO LOCATE THESE AREAS.

NOTES FOR DRAINAGE WELL:

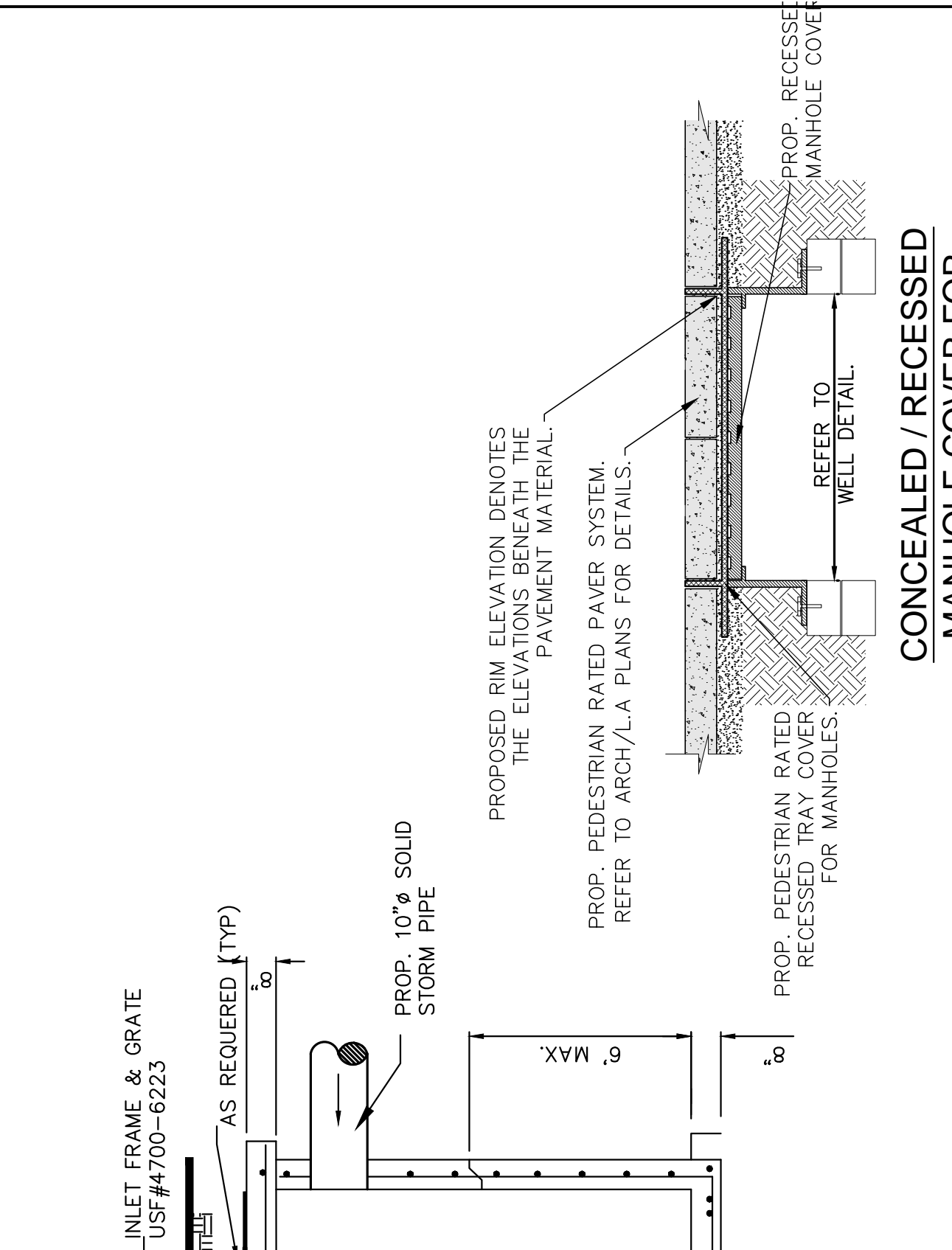
- INJECTION WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDEP CHAPTER 52.528 UNDERGROUND INJECTION CONTROL PROGRAM RULES, AND MUST PROVIDE THE OPTIMUM RECHARGE FLOW RATE INTO THE G-III AQUIFER; FDEP CHAPTER 520.410 DEFINES THE G-III AQUIFER AS NON-POTABLE WATER UNCONFINED AQUIFER WITH A DISSOLVED SOLID CONTENT EQUAL TO OR GREATER THAN 10,000 MG/L...
- BOTTOM OF WELL CASING SHALL BE SHALLOWER THAN THE 10,000 MG/L INTERFACIAL. THE INJECTION WELL SHALL HAVE A MINIMUM CASING LENGTH OF 60-FEET WITH MAXIMUM CASING LENGTH IMMEDIATELY ABOVE THE FOOTING OF THE FIELD CONDITIONS LOCATES THE 10,000 MG/L INTERFACIAL TO BE SHALLOWER OR DEEPER THAN THE LIMITS SET HEREIN. THE OPEN HOLE AREA OF THE WELL SHALL BE PLACED TO PROVIDE THE OPTIMUM FLOW THROUGH THE AQUIFER.
- UPON COMPLETION OF THE INSTALLATION OF THE FIRST INJECTION WELL, THE CONTRACTOR SHALL PERFORM A RECHARGE CAPACITY FLOW TEST AND PROVIDE THE RESULTS OF SUCH FLOW TEST TO THE ENGINEER OF RECORD FOR REVIEW, PRIOR TO THE INSTALLATION OF ANY MORE WELLS. IF THE FIELD CONDITIONS DIFFER, AND THE REQUIRED WELL RECHARGE RATE OF 500 GPM/FEET OF HEAD CANNOT BE ACHIEVED WITH THE FOREMENTIONED CASING REQUIREMENTS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A PLAN OF ACTION TO REMEDY THE DEFICIENT CAPACITY.
- NOTE ANY INJECTION WELL INSTALLED BY THE CONTRACTOR THAT DOES NOT MEET THE REQUIRED FLOW AND CASING REQUIREMENTS WILL NOT BE ACCEPTED AND WOULD NEED TO BE IMMEDIATELY REPLACED WITH A NEW WELL MEETING THE FOREMENTIONED CASING AND FLOW REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- STEEL WELL GRATE TO BE INSTALLED OVER 24" DEEP WELL. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
- ALL WELL OVERFLOW PIPING SHALL LEAD DIRECTLY INTO THE RETENTION CHAMBER OF OVERFLOW PIPING SHALL BE DIRECTLY CONNECTED INTO THE WELL CHAMBER OF THE ADJACENT WELL BOX.



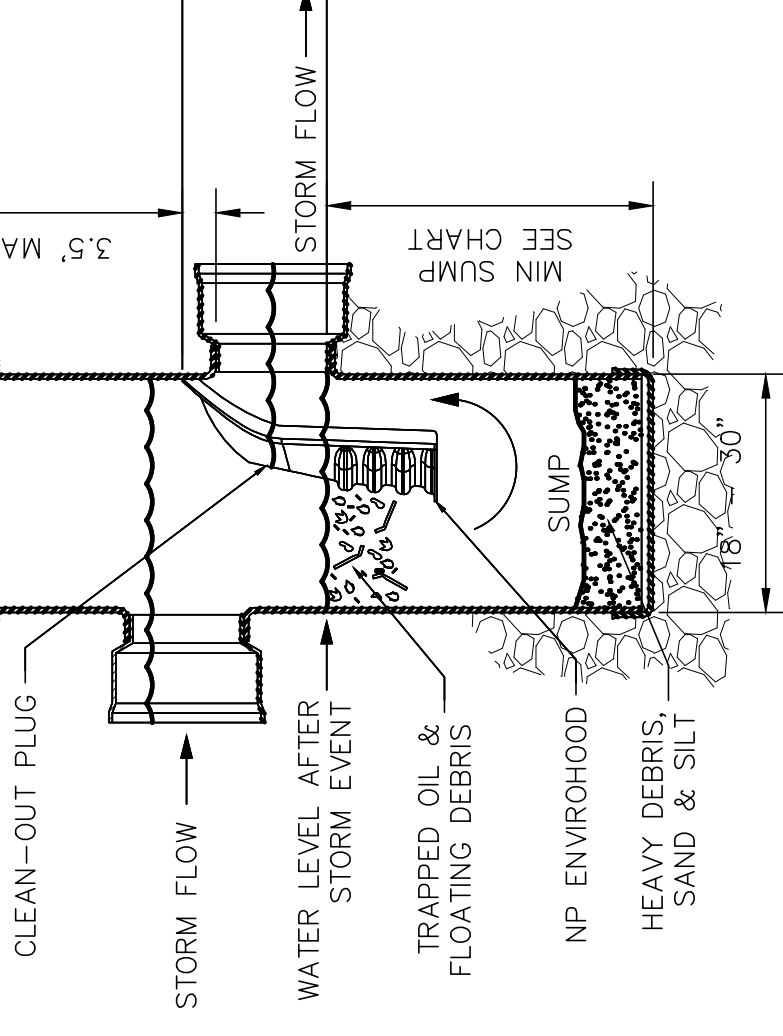
DRAINAGE WELL (DW-1)
N.T.S.



SECTION
STORM DRAINAGE WELL (DW-1)



CONCEALED / RECESSED
MANHOLE COVER FOR
DRAINAGE WELL
N.T.S.

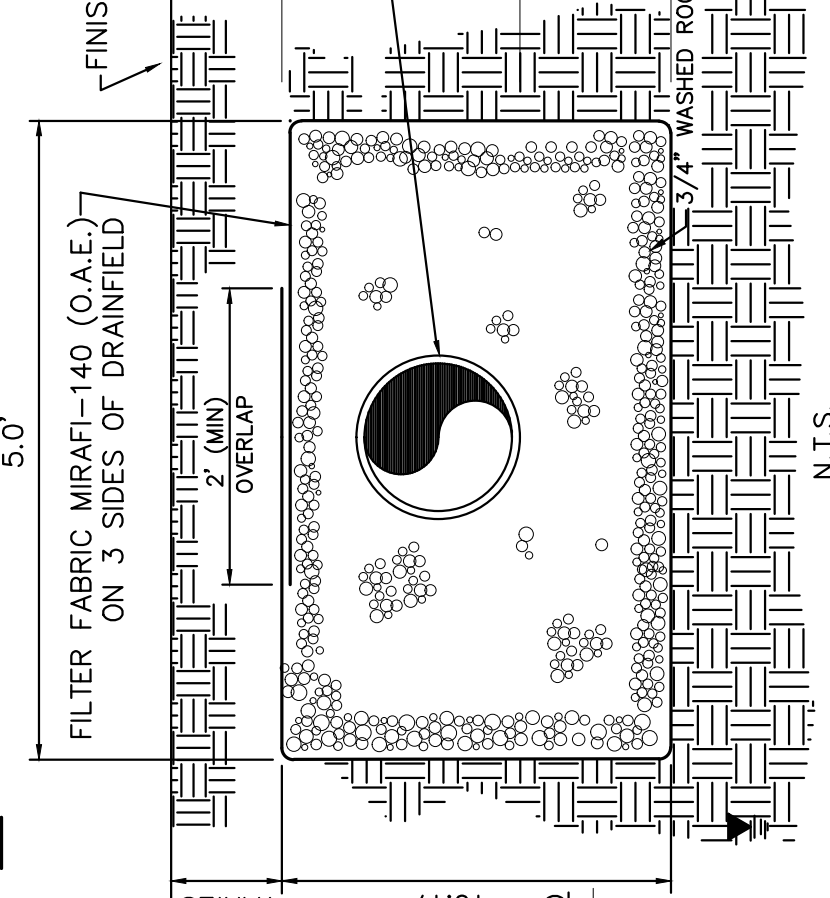


NYLOPLAST DRAIN BASIN WITH ENVIROHOOD

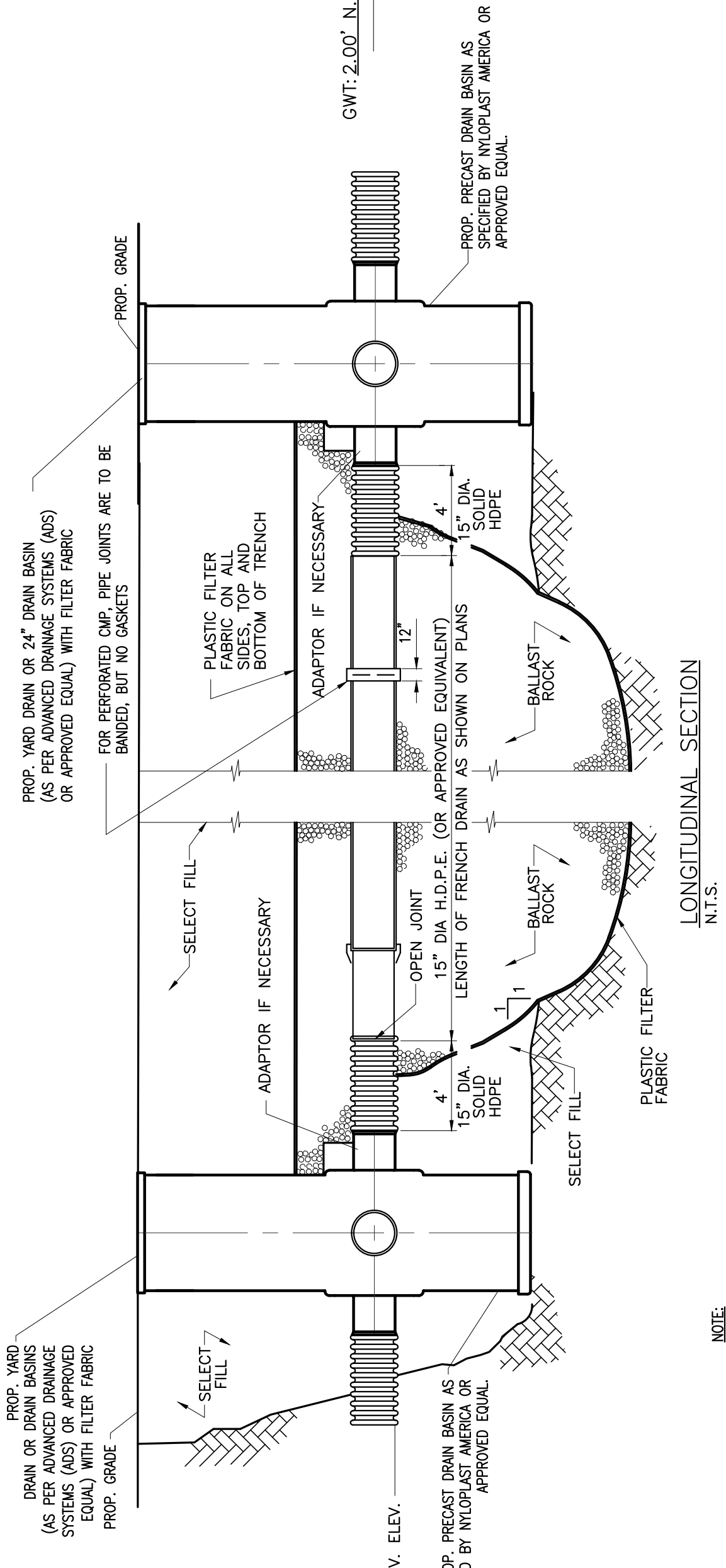
- ENVIROHOOD SHALL BE INSTALLED IN ALL DRAIN BASINS DESIGNED WITH AT LEAST ONE LEADING PIPE DRAINING INTO AN EXFILTRATION TRENCH.
- FRAMES, GRATES, COVERS, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 18").
- IF BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL. THE BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.
- THE STRUCTURE SHOULD BE INSPECTED AT LEAST ONCE PER MONTH FOR THE FIRST YEAR, OR UNTIL THE SITE HAS BEEN STABILIZED.
- THE STRUCTURE SHALL BE CLEANED IF ACCUMULATED DEBRIS IS EQUAL OR GREATER TO THE FOLLOWING:
A. DEBRIS IN SUMP - 18" MAX
B. FLOATABLE DEBRIS - 6" MAX
- THE PROPOSED DRAIN BASIN SHOULD BE INSPECTED ONCE PER MONTH FOR THE FIRST YEAR TO DETERMINE A PROPER CLEANING CYCLE.
- CLEANING CYCLE SHALL INCLUDE REMOVAL OF DEBRIS AND RINSING OF BASIN.

DRAINAGE WELL SCHEDULE

STRUCT. NO.	FRAME & LID	W	Y	X	INVERT (PIPE DESC.)			LONGITUDE
					NORTH	SOUTH	WEST	
WELL #1	USF E--BWTL	5.00'	5.00'	5.00'	3.10' (6" SDR35)	3.10' (10" SDR35)	3.10' (-10.50')	



EXFILTRATION TRENCH FOR
15" SLOTTED H.D.P.E.
N.T.S.



LONGITUDINAL SECTION
N.T.S.

NOTE:
AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.

Sunshine
Call Bill or Viki at Sunshine for all business days before digging to have our trained technicians locate all utilities. Check positive response codes before you dig!

OCEAN ENGINEERING
CIVIL ENGINEERING CONSULTANTS
1000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
TEL: 772.477.1111
WWW.OCEANENGINEERING.COM

DRAINAGE DETAILS

C400

SHEET NO.

SCALE: THIS DRAWING IS SHOWN. DO NOT SCALE DRAWINGS.
DRAWN BY: COP
DRAWING TITLE:

REVISIONS	DATE	DESCRIPTION
1	02/05/2022	CITY COMMENTS

PROJECT
WALTER M. LUGO P.E.
FL PE# 67474

ARCHITECTURE AND DESIGN
280 HOLLYWOOD BL. HOLLYWOOD, FL 33020
WWW.SUNSHINEENGINEERING.COM

WALTER M. LUGO
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 67474

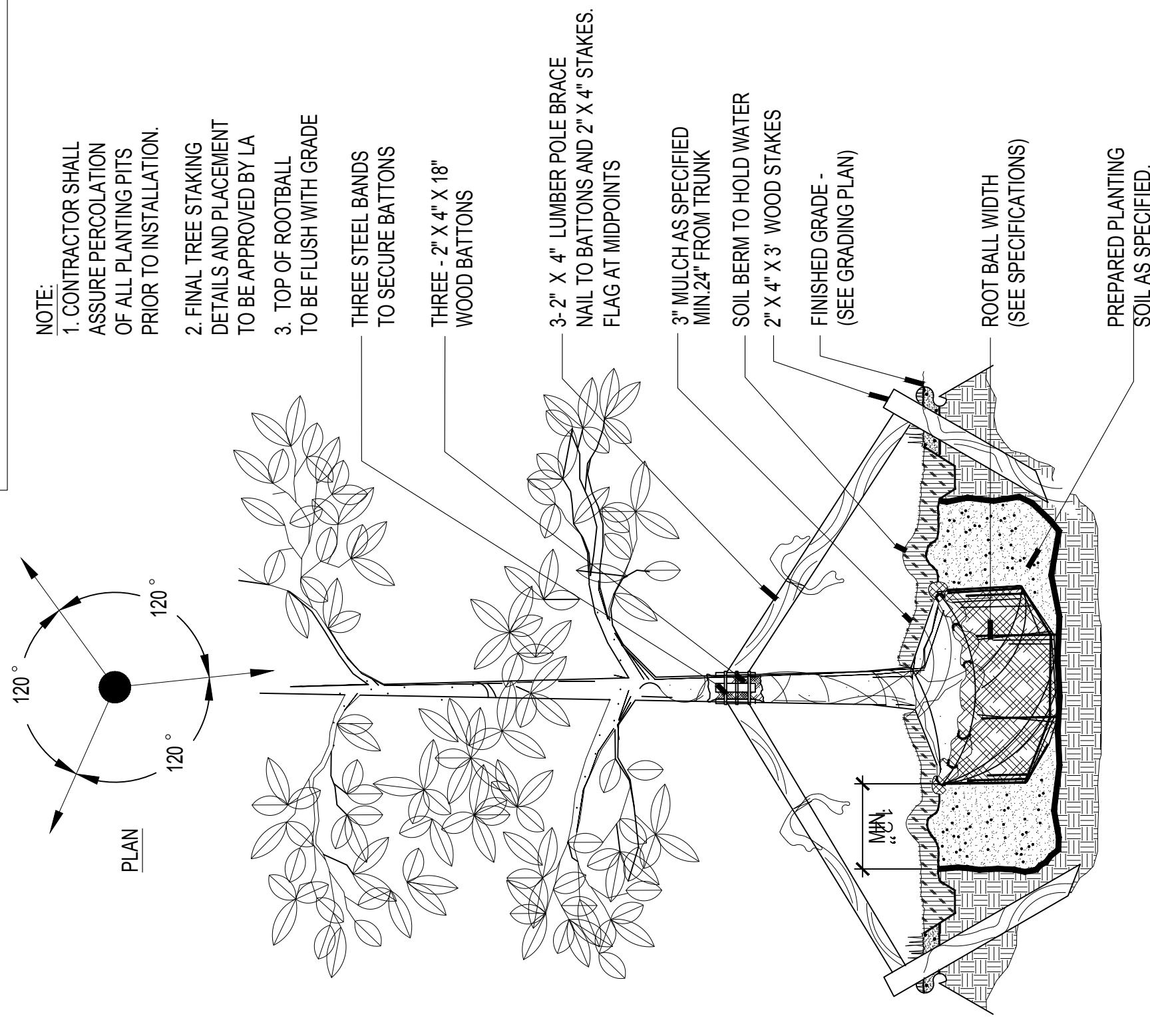
CLIENT
8911 COLLIER AVE
SUITE 100, FORT LAUDERDALE
FL 33304

ARCHITECT OF RECORD
OCEAN ENGINEERING
1000 W. UNIVERSITY BLVD., SUITE 100
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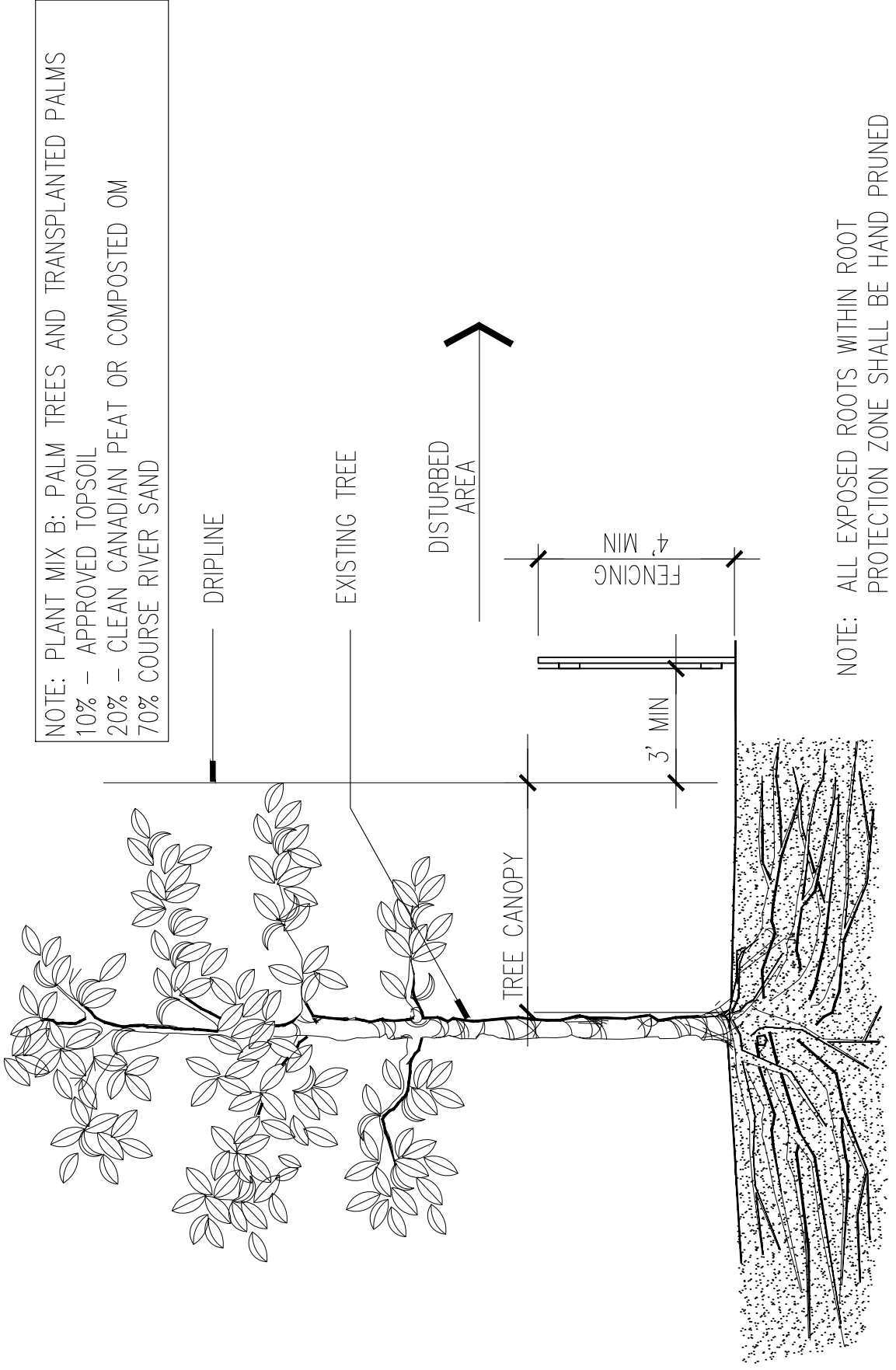
CIVIL TRAFFIC & PARKING ENGINEER
180 BISCAYNE BLVD., SUITE 100
MIAMI, FL 33139
TEL: 772.477.1111

LANDSCAPE ARCHITECT
180 BISCAYNE BLVD., SUITE 100
MIAMI, FL 33139
TEL: 772.477.1111

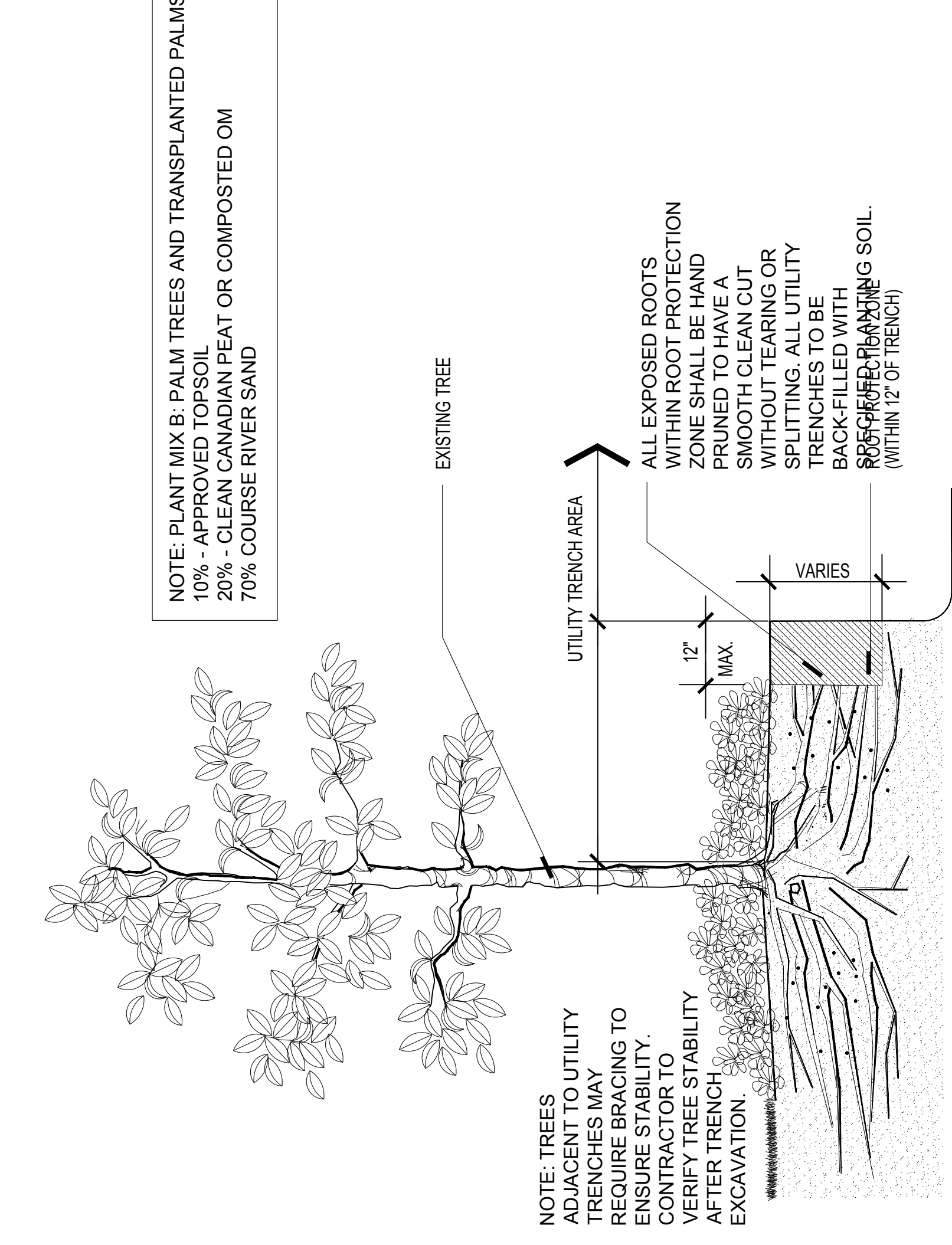
NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS
10% - APPROVED TOPSOIL
20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
70% COURSE RIVER SAND



1 SECTION
RELOCATED TREE
d-4327-028
SCALE: 1"=1'-0"

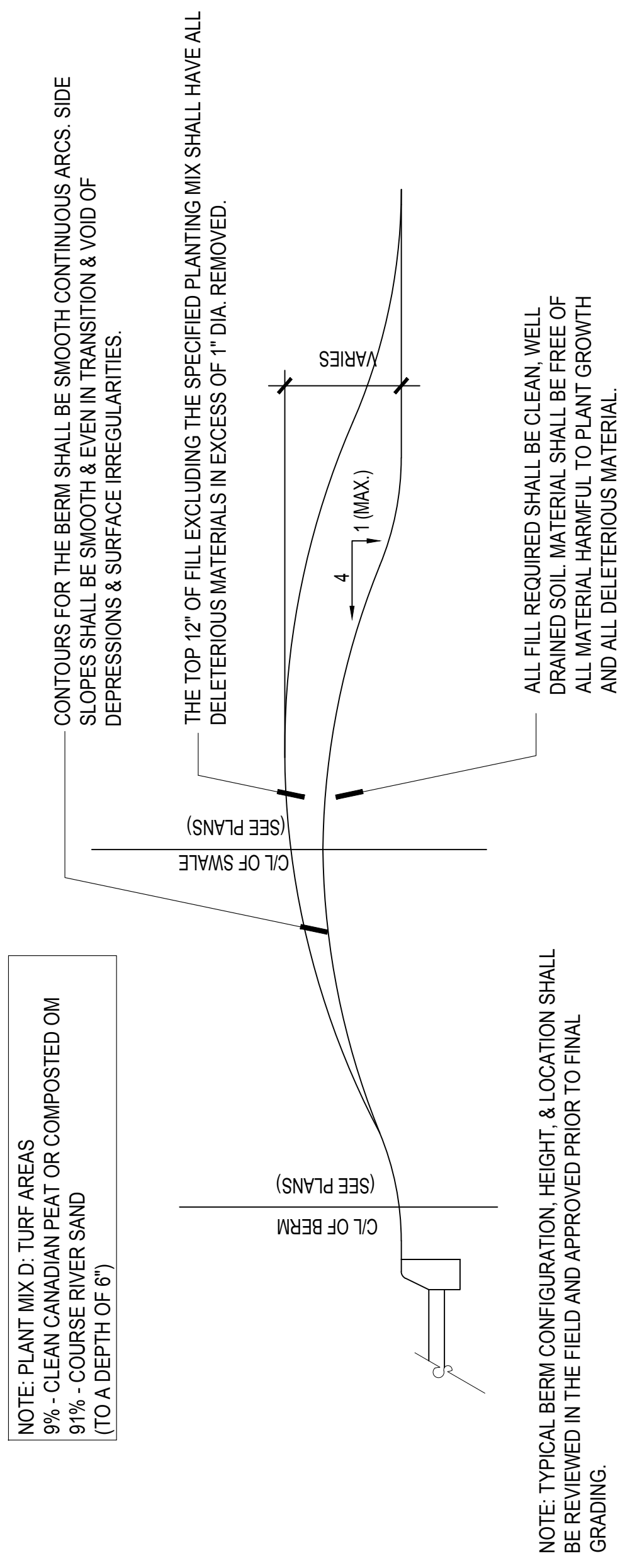


3 SECTION
EXISTING TREE PROTECTION
pl-4327-092.dwg
SCALE: 1/4"=1'-0"



2 SECTION
EXISTING TREE ROOT PROTECTION
d-4327-024
SCALE: 1"=1'-0"

- CONTRACTOR SHALL NOT SUBSTANTIALLY VARY GRADING FROM GRADING PLAN WITHOUT THE APPROVAL OF DESIGNER. ALL SITE GRADING IS SUBJECT TO REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTOURS FOR EARTH MOUNDS SHALL BE SMOOTH, CONTINUOUS ARCS. SIDE SLOPES SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF DEPRESSIONS AND SURFACE IRREGULARITIES SHALL BLEND INTO THE SURROUNDING TERRAIN IN A NATURAL MANNER. CAREFUL ATTENTION SHOULD BE GIVEN TO THE GRADING PLANS CONCERNING THE SHAPES AND FORMATIONS OF PROPOSED SLOPES.
- ALL GRADED AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN. SMALL IMPERFECTIONS AND ROUND OFF ANY SHARP LINES THAT MAY HAVE BEEN CONSTRUCTED BY EQUIPMENT. ALL AREAS TO BE PLANTED SHALL HAVE NO WATER HOLDING POCKETS.
- ONCE THE SUBGRADED HAS BEEN SHAPED AND HAS RECEIVED THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE TOPSOIL SHALL BE REPLACED IN A SMOOTH AND EVEN LAYER CONFORMING TO THE GRADED CONTOUR AND BLENDING INTO EXISTING GRADE.
- MAXIMUM SIDE SLOPES THROUGHOUT SHALL BE FOUR FEET (4') HORIZONTAL TO ONE FOOT (1') VERTICAL (I.E., 4 TO 1), UNLESS OTHERWISE NOTED.
- ALL CUT AREAS SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES (6") MINIMUM TO LOOSEN SOIL. ALL DEBRIS, ROOTS, TRASH, CLUMPS OF SOD, ROCKS, ECT., SHALL BE REMOVED FROM THE SOIL. TO THE SATISFACTION OF DESIGNER, IN ORDER TO MAKE A CLEAN SEEDBED FOR CAPPING AND PLANTING. 10. PLANTING SOIL SHOULD BE SPREAD SMOOTHLY TO ENSURE ALL SHAPING IS PRESERVED.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM TRAVERSABLE SLOPE OF 5%.



4 TEXT
TYPICAL LANDSCAPE BERM
d-4327-025
SCALE: 1/2"=1'-0"

CLIENT
FORT PARTNERS
1000 W. PALM BEACH BLVD.
SUITE 1000
PALM BEACH, FL 33480
ARCHITECT OF RECORD
ARCHITECTS
1000 W. PALM BEACH BLVD.
SUITE 1000
PALM BEACH, FL 33480
CIVIL, TRAFFIC & PARKING ENGINEER
897 BISCAYNE BLVD. SUITE 500
MIAMI, FL 33139
LANDSCAPE ARCHITECT
1000 W. PALM BEACH BLVD.
SUITE 1000
PALM BEACH, FL 33480

CONTRACTOR
DANNWOLF AND PARTNERS ARCHITECTS INC.
400 N. HIGHLAND BLVD. SUITE 100
MIAMI, FL 33136
1-305-381-8833

DESIGNER
DANNWOLF AND PARTNERS ARCHITECTS INC.
400 N. HIGHLAND BLVD. SUITE 100
MIAMI, FL 33136
1-305-381-8833

LANDSCAPE ARCHITECT
DANNWOLF AND PARTNERS ARCHITECTS INC.
400 N. HIGHLAND BLVD. SUITE 100
MIAMI, FL 33136
1-305-381-8833

REGISTERED PROFESSIONAL ENGINEER
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MIAMI, FL 33136
1-305-381-8833

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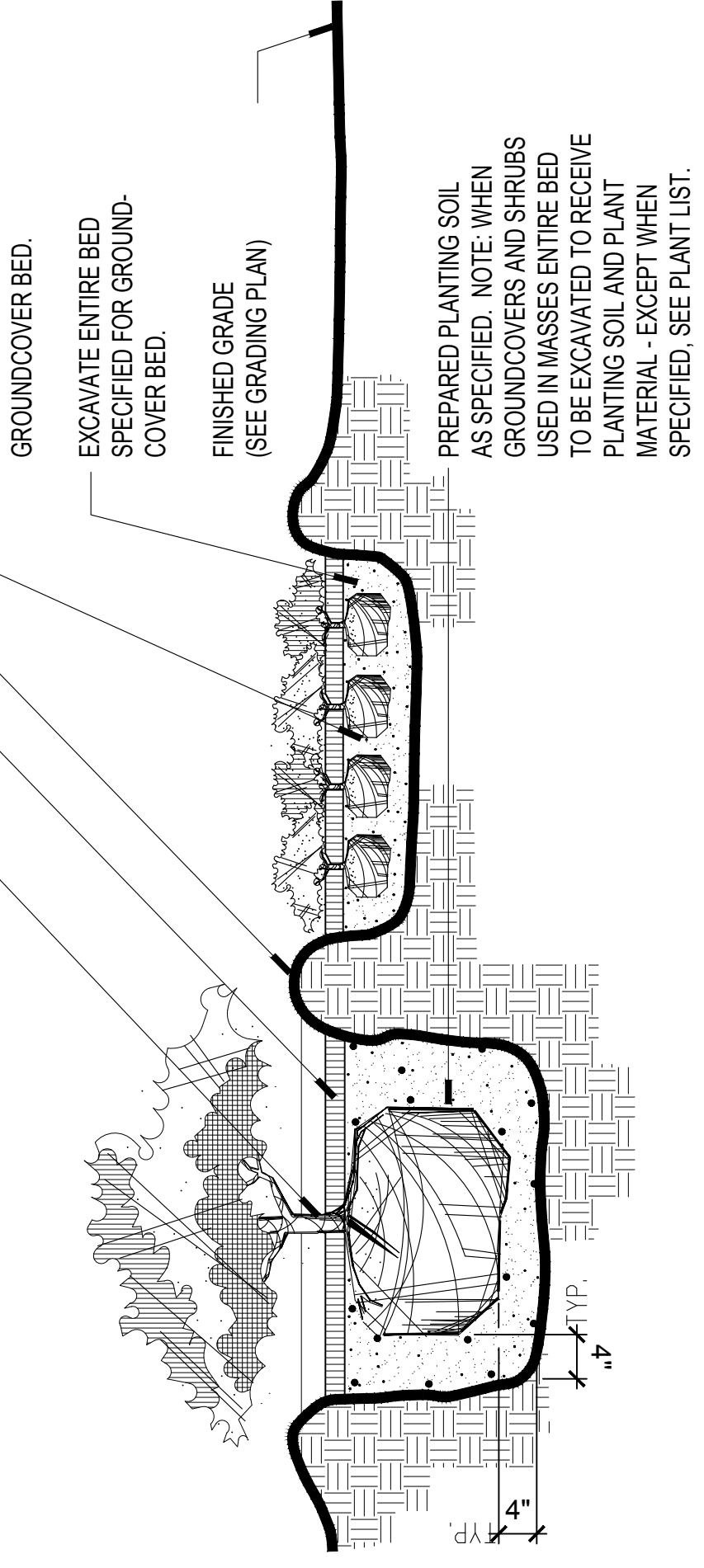
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400 N. HIGHLAND BLVD. SUITE 100
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1-305-381-8833

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DANNWOLF AND PARTNERS ARCHITECTS INC.
400 N. HIGHLAND BLVD. SUITE 100
MIAMI, FL 33136
1-305-381-8833

NOTE: PLANT MIX C: RAISED PLANTERS/HANGING BASKETS AND LIGHTWEIGHT PLANTING MIXES:
 100% - APPROVED TOPSOIL
 70% - MANUFACTURED SOIL-LESS PLANTING MIX (SUCH AS PROMIX OR EQUAL)
 20% COURSE RIVER SAND

NOTE:
 CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.

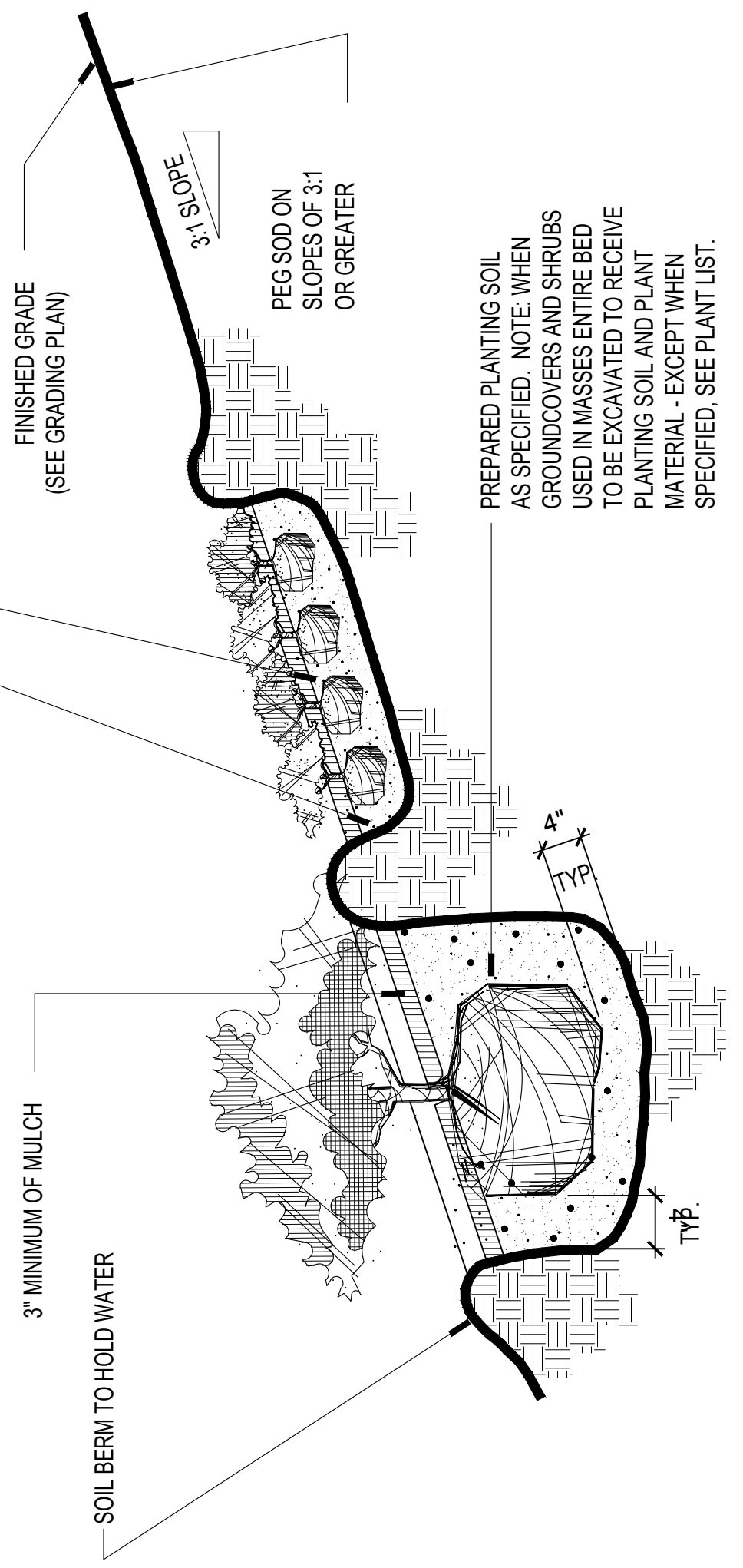


1 SHRUB AND GROUNDCOVER
 SECTION
 SCALE: 1"=1'-0"

pl-4327-083.dwg

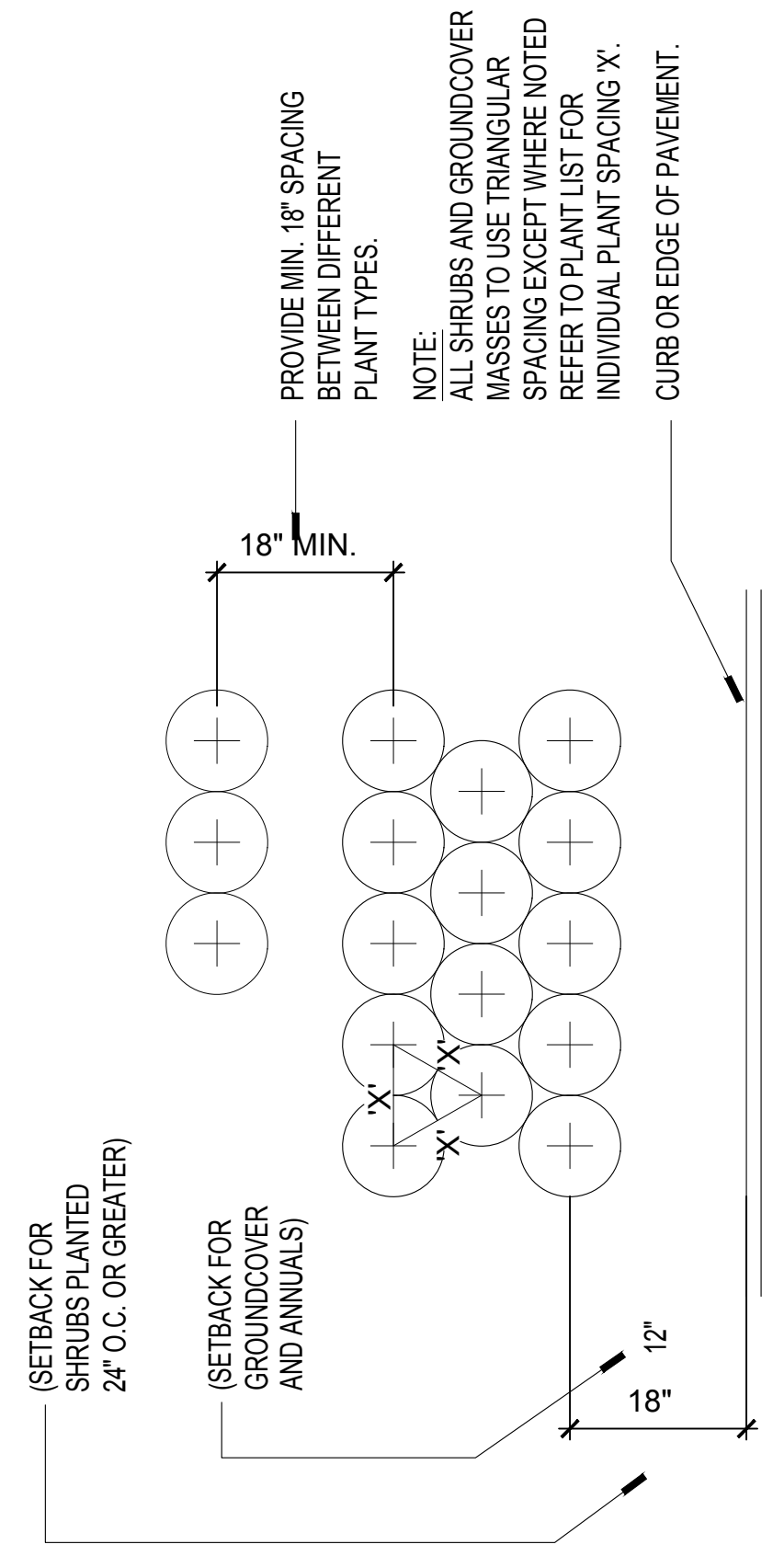
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 70% - MANUFACTURED SOIL-LESS PLANTING MIX (SUCH AS PROMIX OR EQUAL)
 20% COURSE RIVER SAND

NOTE:
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3 SHRUB AND GROUNDCOVER ON SLOPE
 SECTION
 SCALE: 1"=1'-0"

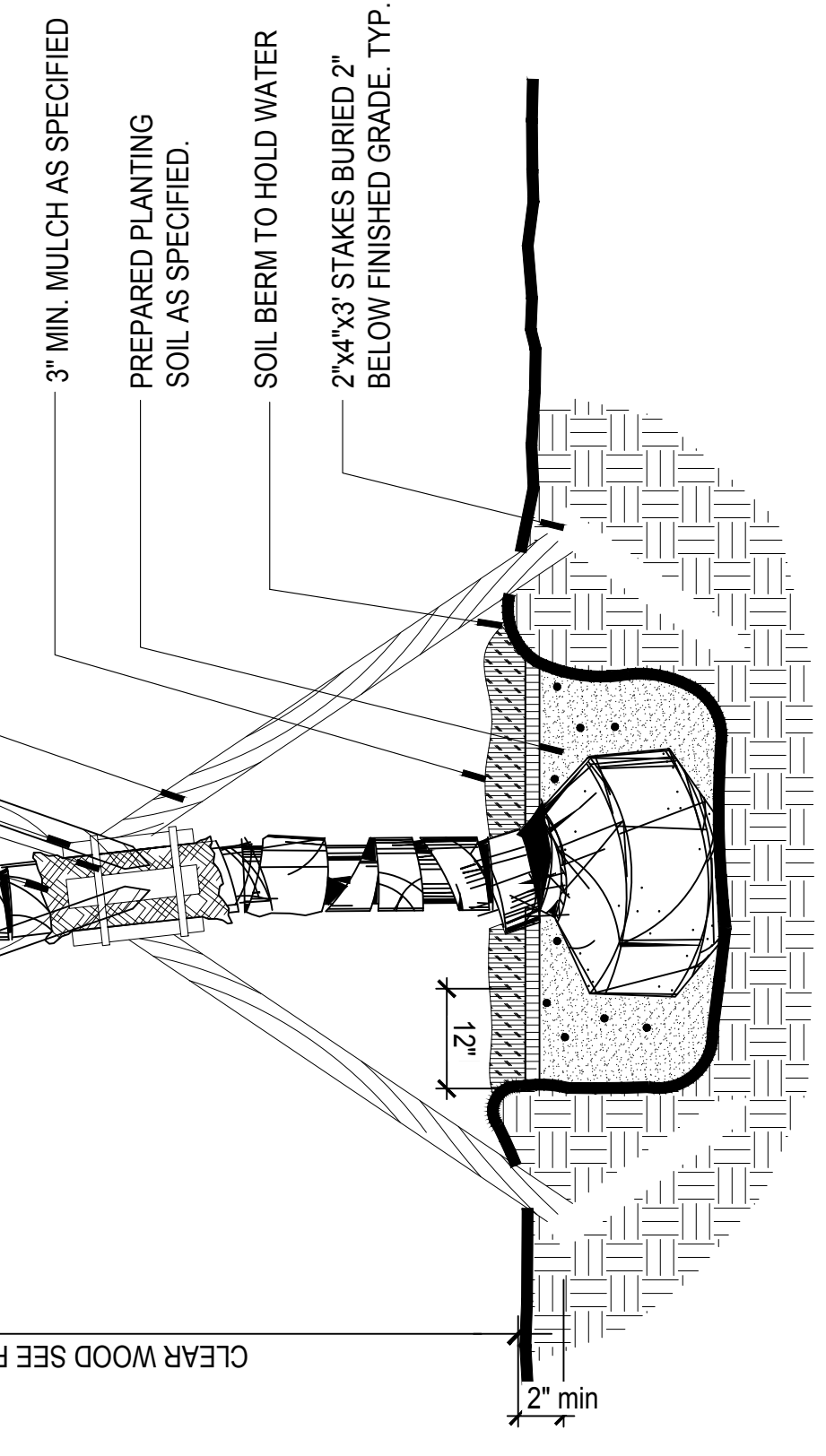
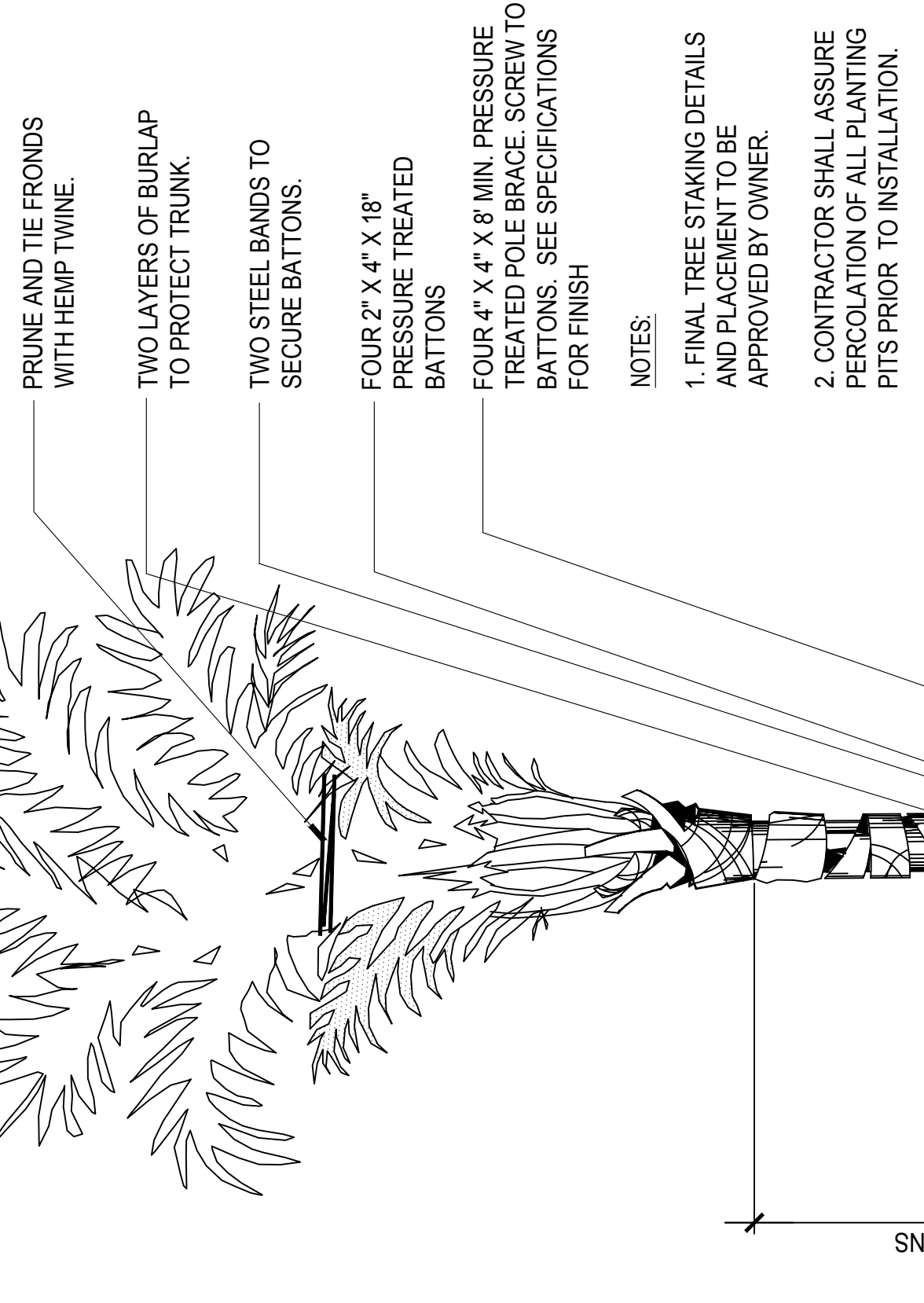
pl-4327-084.dwg



2 TYPICAL PLANT SPACING
 PLAN
 SCALE: 1"=1'-0"

pl-4327-086.dwg

NOTE: PLANT MIX B: PALM TREES AND TRANSPLANTED PALMS:
 10% - APPROVED TOPSOIL
 20% - CLEAN CANADIAN PEAT OR COMPOSTED OM
 70% COURSE RIVER SAND



5 COCONUT PALM
 SECTION
 SCALE: 1/2"=1'-0"

d-4327-023

CLIENT
 EFCO PARTNERS
 10000 WOODHOLM AVENUE
 SUITE 100
 SUPERIOR, FLORIDA 33494

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CIVIL, TRAFFIC & PARKING ENGINEER
 OCEAN ENGINEERING
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LANDSCAPE ARCHITECT
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PROJECT

REVISIONS

KEY PLAN

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